

- PLANTING KEY**
- GENERAL PLANTING**
- SOD LAWN
 - NATIVE MEADOW
- FEATURED PLANTING**
- FP ZONE 1
 - FP ZONE 2
 - FP ZONE 3
 - FP ZONE 4
 - FP ZONE 6
- PROPOSED PLANTING LEGEND**
- PROPOSED SHADE TREE SEE LS201 FOR SPECIES
 - PROPOSED ORNAMENTAL TREE SEE LS201 FOR SPECIES
- SITE LEGEND**
- EXISTING TREE TO REMAIN
 - EXISTING TOPOGRAPHY
 - LIMIT OF SUBMISSION
 - SDP/FDP BOUNDARY
 - ADJACENT NEIGHBORHOOD BOUNDARY
 - SLOPES > 15%
 - SLOPES > 25%

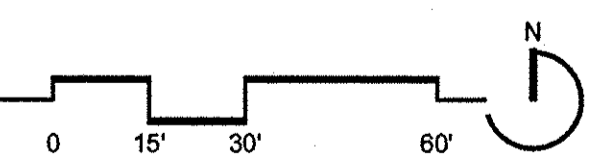
NOTES:

- REFER TO MATERIALS PLANS (LS101-LS104) FOR PATHWAYS AND SITE FEATURE CALLOUTS.
- REFER TO SHEET LS201 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- FOR MASTER PLANT SCHEDULE, SEE SHEET LS206.
- REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.

SEE SITE PLANTING PLAN LS203

1 SITE PLANTING PLAN
1"=30'

SEE SITE PLANTING PLAN LS204

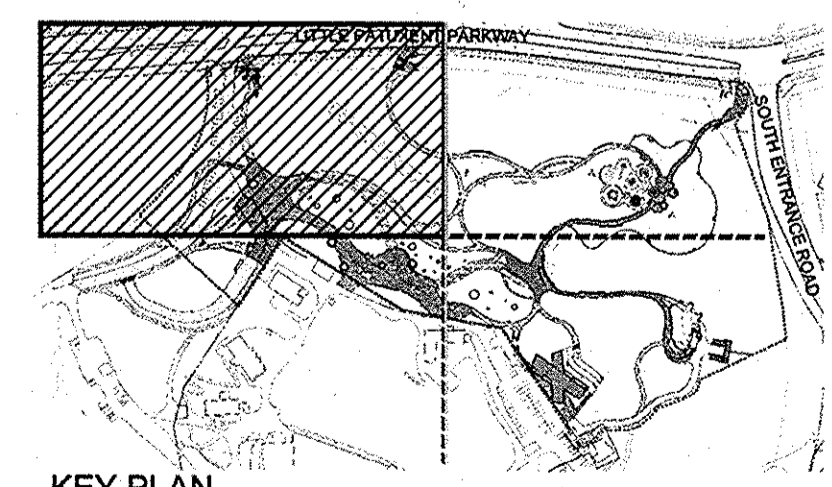


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *W. J. ...* Date: 9-2-15
 Chief, Division of Land Development: *...* Date: 8-25-15
 Chief, Development Engineering Division: *...* Date: *...*

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 Date: 11-20-14
 *See Sn 2 for Phasing and add'l approvals required for Phs 3-7

CERTIFICATION NOTE:
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.
 SCOTT RYKIEL, RLA 681

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 DEVELOPER'S/OWNER'S NAME: *...* DATE: 9/4/15

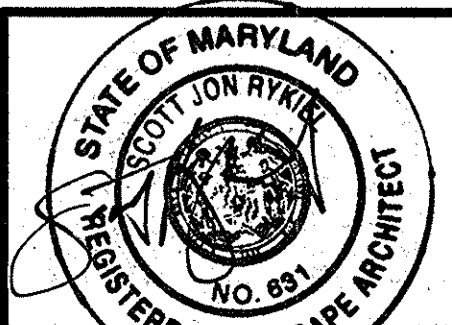


SITE PLANTING PLAN		LS202
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP -- GRID	SHEET
JUNE, 2015	36 - 01	50 OF 85

MAHAN RYKIEL ASSOCIATES INC.
 The Steff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

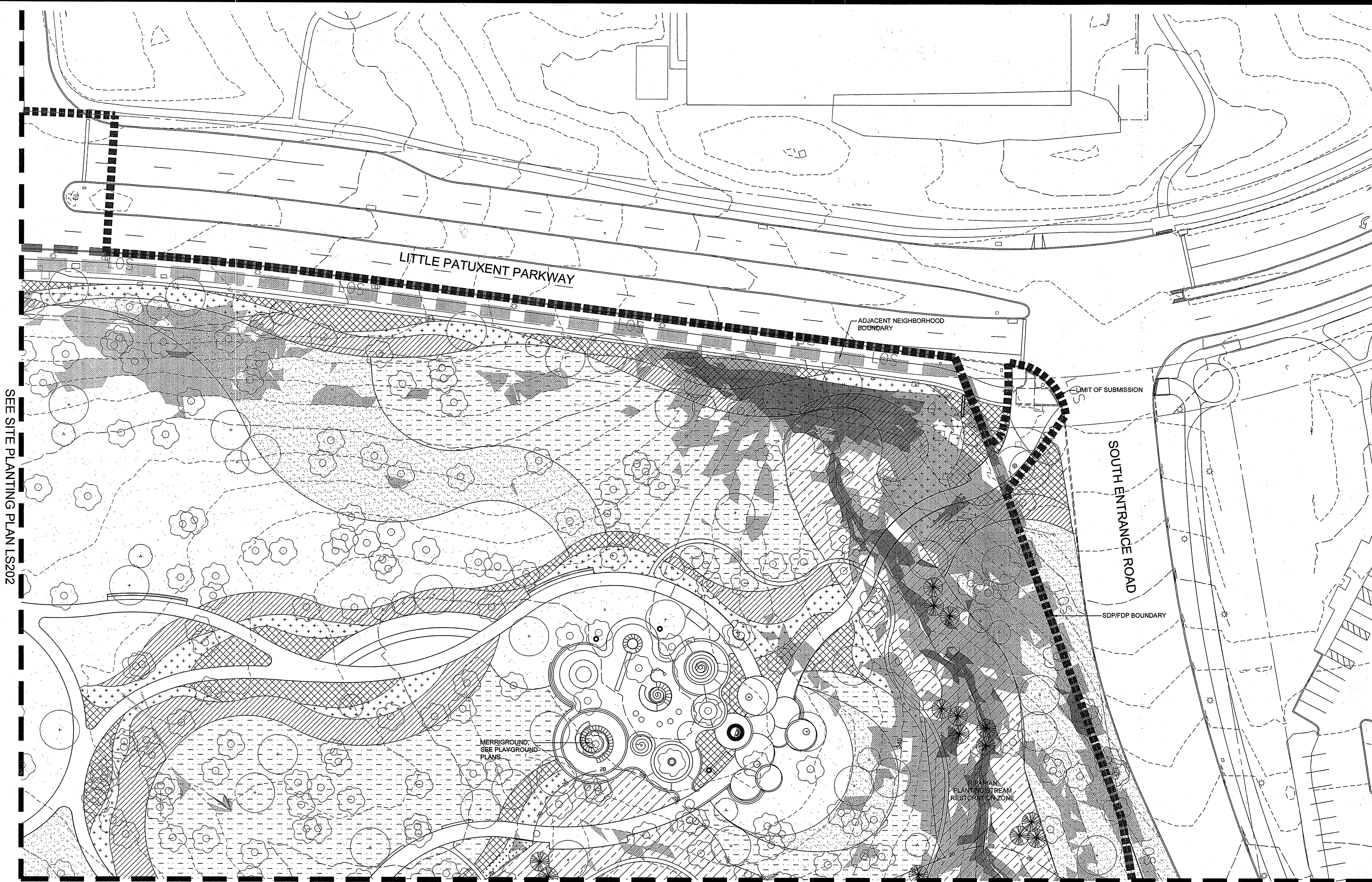
PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL MCCALL
 410-740-0029



FOR INFORMATION ONLY:
 NOT FOR CONSTRUCTION

SITE UNDERSTORY PLANTING PLAN NORTHWEST
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER - SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



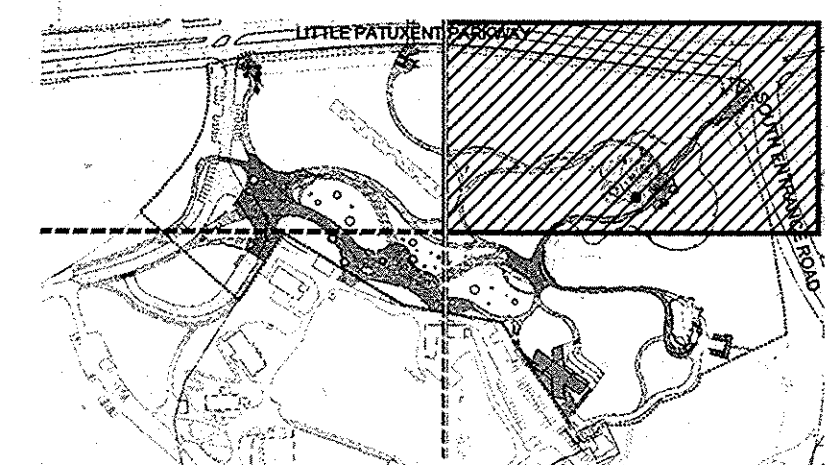
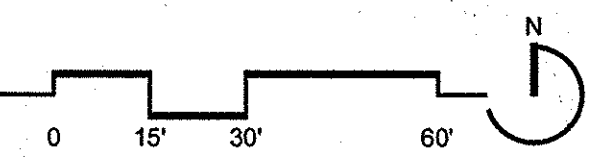
- PLANTING KEY**
- GENERAL PLANTING**
- SOD LAWN
 - NATIVE MEADOW
 - ENHANCED WOODLAND
- FEATURED PLANTING**
- FP ZONE 1
 - FP ZONE 2
 - FP ZONE 3
- PROPOSED PLANTING LEGEND**
- PROPOSED EVERGREEN TREE - SEE LS201 FOR SPECIES
 - PROPOSED SHADE TREE - SEE LS201 FOR SPECIES
 - PROPOSED ORNAMENTAL TREE - SEE LS201 FOR SPECIES
 - RIPIARIAN PLANTING/STREAM RESTORATION ZONE; SEE NOTE 8

- SITE LEGEND**
- EXISTING TREE TO REMAIN
 - EXISTING TOPOGRAPHY
 - LIMIT OF SUBMISSION
 - SDP/FDP BOUNDARY
 - ADJACENT NEIGHBORHOOD BOUNDARY
 - STREAM
 - SB - STREAM BUFFER
 - WB - WETLAND BUFFER
 - WETLAND
 - SLOPES > 15%
 - SLOPES > 25%

- NOTES:**
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 - REFER TO SHEET LS201 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
 - FOR MASTER PLANT SCHEDULE, SEE SHEET LS206.
 - REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.
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 - EXTEND PLANTING UNDERNEATH BOARDWALK IN ALL AREAS WHERE AIR GAP BENEATH BOARDWALK IS GREATER THAN 3".
 - STREAM RESTORATION/RIPIARIAN PLANTING TO BE PROVIDED BY BIOMATS IN FUTURE REDLINE SUBMISSION, WITH THE EXCEPTION OF TREES SHOWN ON LS201.

1 SITE PLANTING PLAN
1"=30'

SEE SITE PLANTING PLAN LS205



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Michael J. ...* Date: 9-2-15
 Chief, Division of Land Development: *...* Date: 8-25-15
 Chief, Development Engineering Division: *...*

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: 11-2-14
 *See Sh. 2 for Phasing & AMI Reg. Approvals for Phase 3-7

CERTIFICATION NOTE:
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

CERTIFICATION NOTE:
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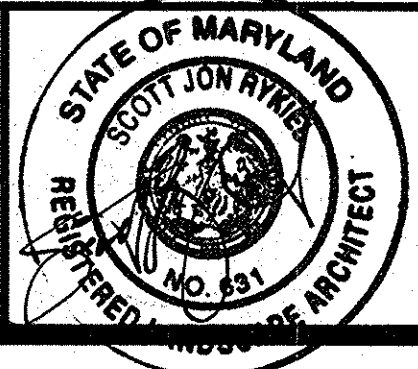
SCOTT RYKIEL, RMA 631

Michael J. ... 9/4/15
 DEVELOPER'S/OWNER'S NAME DATE

MAHAN RYKIEL ASSOCIATES INC.
 The Steiff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APP'R.

PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL MCCALL
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

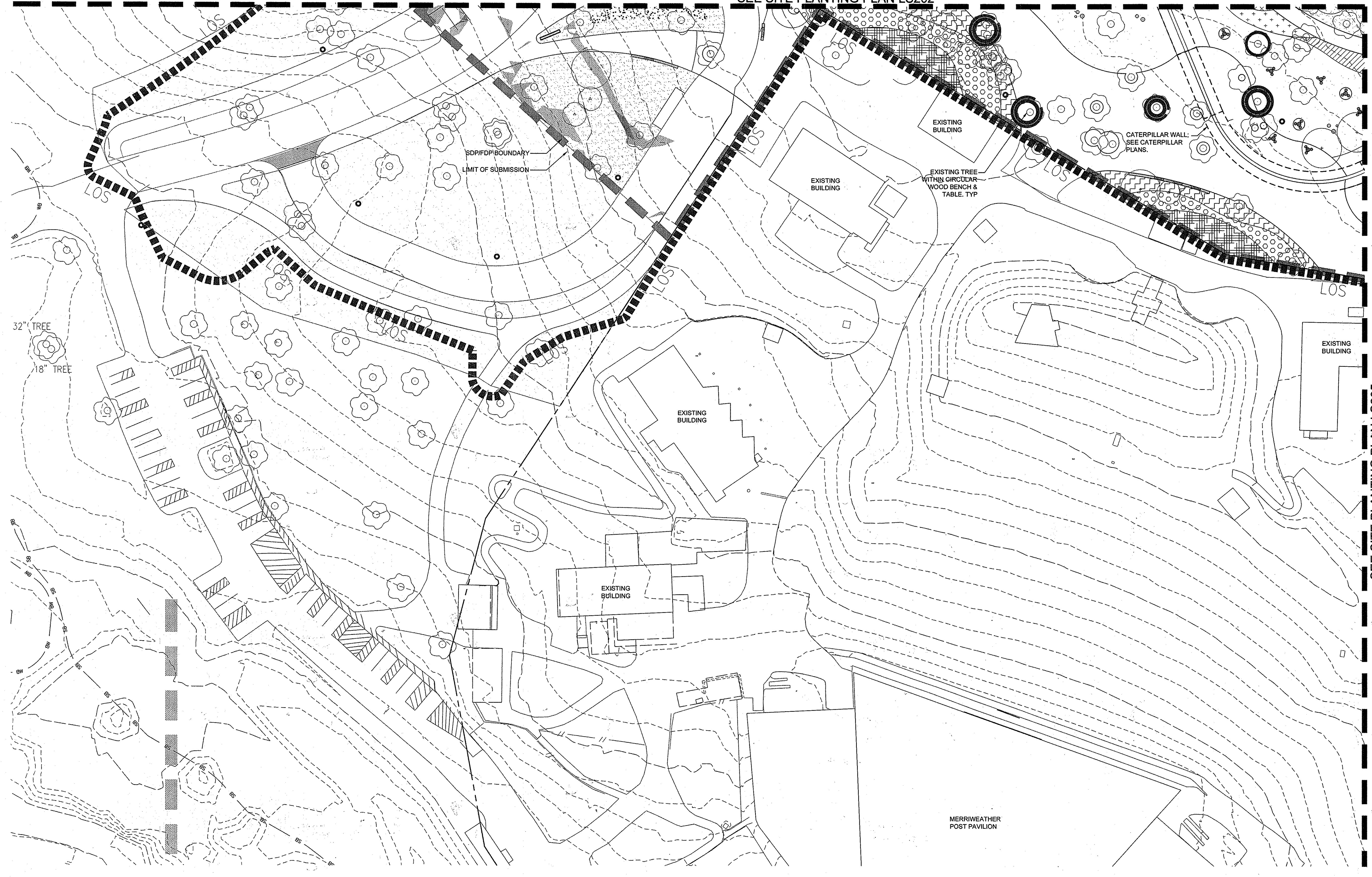
SITE UNDERSTORY PLANTING PLAN NORTHEAST
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER - SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING

KEY PLAN

SITE PLANTING PLAN		LS203
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	51 OF 85

HOWARD COUNTY, MARYLAND

SEE SITE PLANTING PLAN LS202



PLANTING KEY

GENERAL PLANTING

- SOD LAWN
- NATIVE MEADOW

FEATURED PLANTING

- FP ZONE 3
- FP ZONE 4
- FP ZONE 5
- FP ZONE 6

PROPOSED PLANTING LEGEND

- PROPOSED SHADE TREE SEE LS201 FOR SPECIES
- PROPOSED ORNAMENTAL TREE SEE LS201 FOR SPECIES

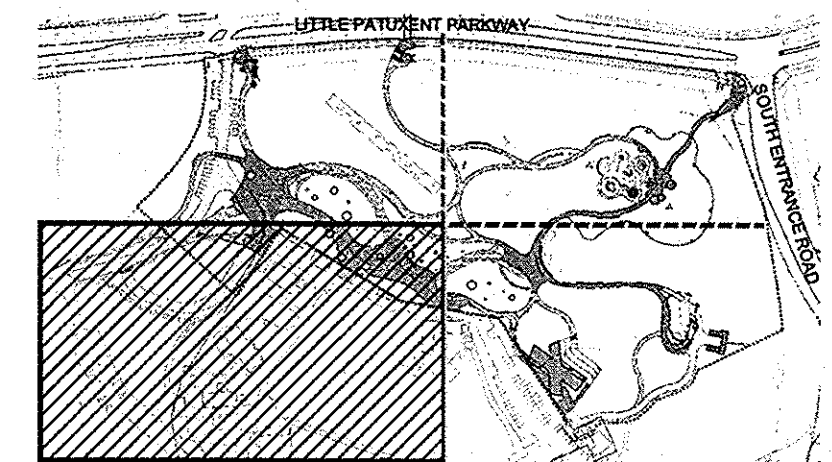
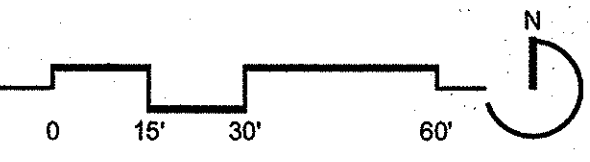
SITE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TOPOGRAPHY
- LIMIT OF SUBMISSION
- SDP/FDP BOUNDARY
- ADJACENT NEIGHBORHOOD BOUNDARY
- SLOPES > 15%
- SLOPES > 25%

NOTES:

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- REFER TO SHEET LS607 FOR ALL PLANTING DETAILS.

1 SITE PLANTING PLAN
1"=30'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 9-8-15
 Chief, Division of Land Development: *[Signature]* Date: 8-25-15
 Chief, Development Engineering Division: *[Signature]*

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: 11-20-14
 *See Sh 2 for Phasing and Add'l Required Approvals for Ph-3-7

CERTIFICATION NOTE:
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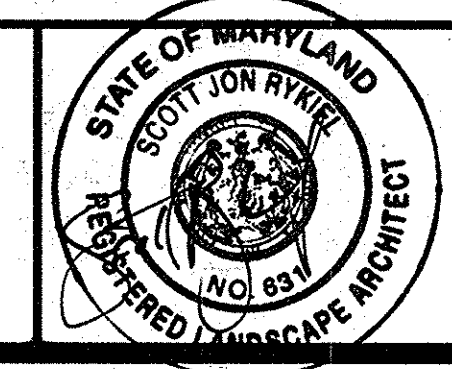
[Signature]
 SCOTT RYKIEL, RLA 831

[Signature] 9/19/15
 DEVELOPER'S/OWNER'S NAME DATE DEVELOPER'S/OWNER'S NAME

MAHAN RYKIEL ASSOCIATES INC.
 The Steff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APP'R.

PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029

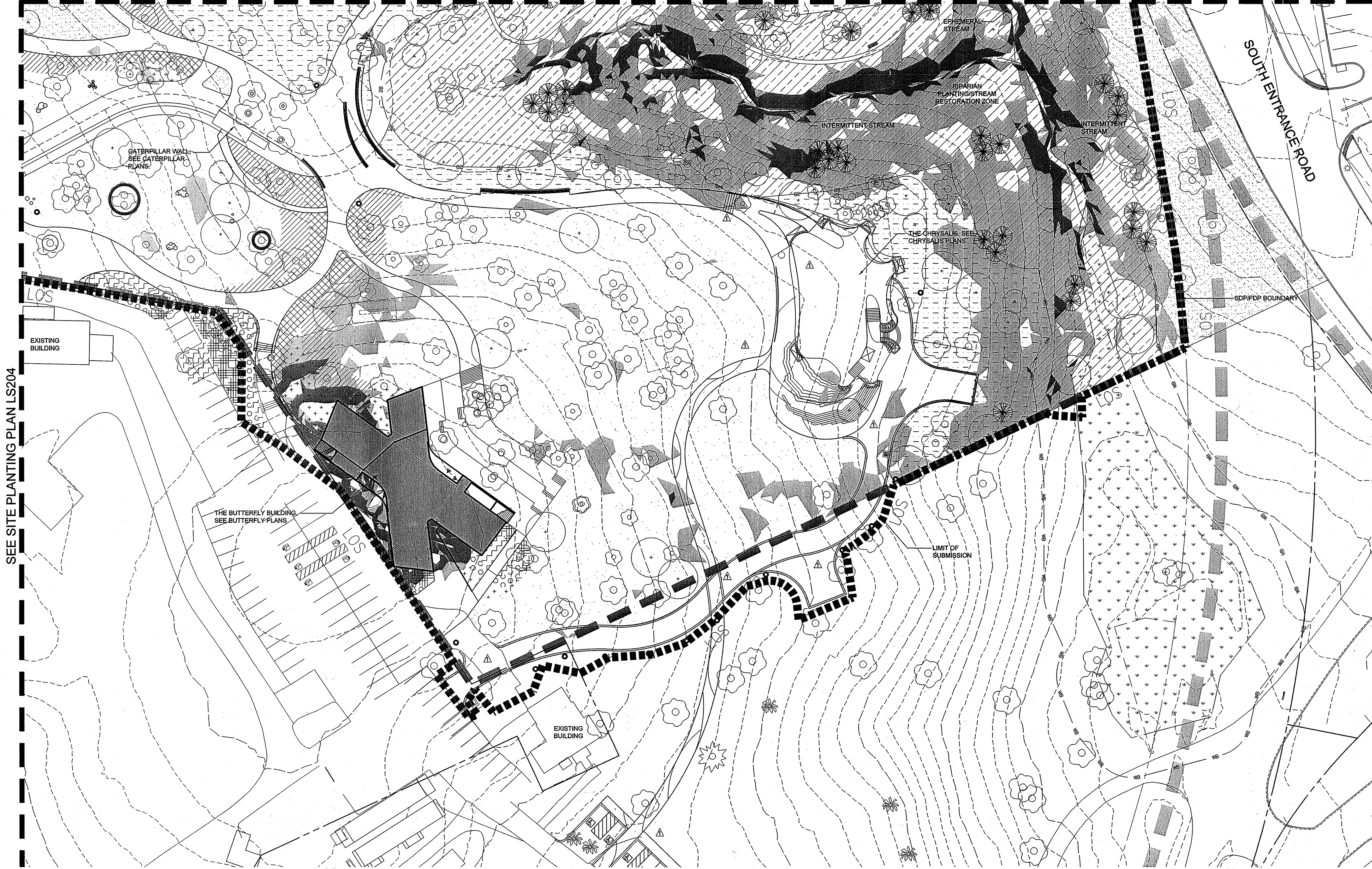


FOR INFORMATION ONLY:
 NOT FOR CONSTRUCTION

SITE UNDERSTORY PLANTING PLAN MIDWEST
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER, SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SITE PLANTING PLAN		LS204
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP -- GRID	SHEET
JUNE, 2015	36 - 01	52 OF 85

SEE SITE PLANTING PLAN LS203



PLANTING KEY

GENERAL PLANTING

- SOD LAWN
- NATIVE MEADOW
- ENHANCED WOODLAND

FEATURED PLANTING

- FP ZONE 1
- FP ZONE 2
- FP ZONE 3
- FP ZONE 4
- FP ZONE 5
- FP ZONE 6

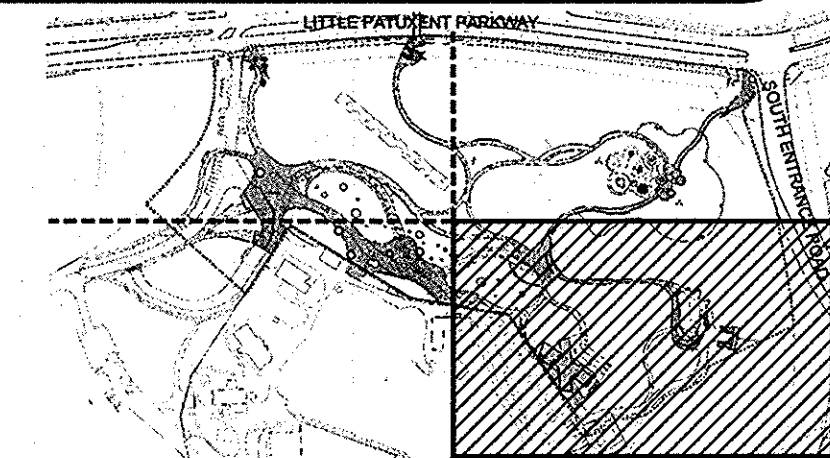
PROPOSED PLANTING LEGEND

- PROPOSED EVERGREEN TREE
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- RIPARIAN PLANTING/STREAM RESTORATION ZONE

SITE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TOPOGRAPHY
- LIMIT OF SUBMISSION
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- ADJACENT NEIGHBORHOOD BOUNDARY
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- SLOPES > 25%

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 - STREAM RESTORATION/RIPARIAN PLANTING TO BE PROVIDED BY BIOHABITATS IN FUTURE REDLINE SUBMISSION, WITH THE EXCEPTION OF TREES SHOWN ON LS201.



1 SITE PLANTING PLAN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Valma J. Jaffer* Date: 2-11-16
 Chief, Division of Land Development: *Chad E. Hill* Date: 2-11-16
 Chief, Development Engineering Division: *Y.P.* Date: 2-11-16

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2016
See Sheet 2 for phasing and additional required approvals for Ph 5-7

CERTIFICATION NOTE:
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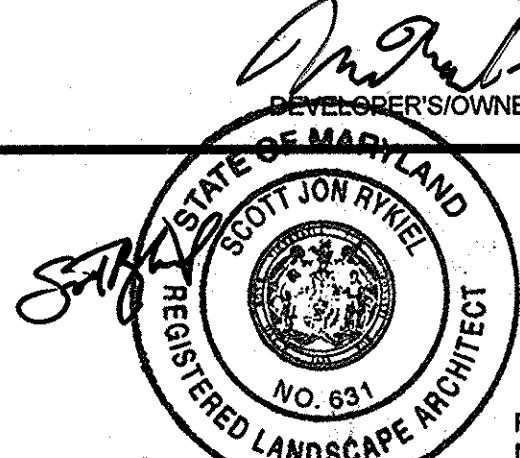
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MAHAN RYKIEL ASSOCIATES INC.
 The Steff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

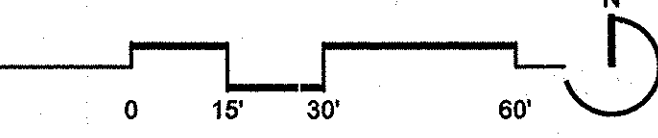
DATE	REVISION	BY	APP'D
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS. ADDED NEW ADA PATH TO HC PARKING. REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

SCOTT RYKIEL, RLA 631

PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029



DEVELOPER'S/OWNER'S NAME
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7
 TOWN CENTER- SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING



KEY PLAN

REVISED SITE PLANTING PLAN	LS205	
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	53 OF 85

1. Feature Planting - Zone 1 (31,965 SF / .73 AC.)

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
	SHRUBS (40%)			
233	Azalea 'Glacier'	#3	Cont.	21" Spd., Matched White Flower
233	Prunus laurocerasus 'Otto Luyken'	#3	Cont.	21" Spd., Matched Full
233	Rhododendron 'Purpureum Elegans'	42" Spd.	B&B	Full, Matched Purple Flower
233	Viburnum dentatum 'Blue Muffin'	#5	Cont.	30" Spd., Matched
	PERENNIALS / GROUNDCOVERS / GRASSES (60%)			
12%	Actaea racemosa	#1	Cont.	18" O.C.
12%	Iris versicolor	#1	Cont.	18" O.C.
12%	Matteuccia struthiopteris	#1	Cont.	18" O.C.
12%	Pachysandra procumbens	#1	Cont.	18" O.C.
12%	Polystichum acrostichoides	#1	Cont.	18" O.C.

2. Feature Planting - Zone 2 (22,380 SF / .51 AC.)

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
	SHRUBS (40%)			
229	Azalea 'Tradition'	#3	Cont.	21" Spd., Matched Light Pink Flower
229	Fothergilla gardenii	#3	Cont.	24" Ht., Matched White Flower
229	Itea virginica 'Sprich'	#3	Cont.	36" O.C.
229	Leucothoe fontanesiana	#5	Cont.	24" Spd., 36" O.C.
229	Rhus aromatica 'Gro Low'	#3	Cont.	18" Spd., Matched Sweet Woodruff
	PERENNIALS / GROUNDCOVERS / GRASSES (60%)			
7%	Astilbe 'Deutschland'	#1	Cont.	18" O.C.
8%	Athyrium filix-femina	#1	Cont.	18" O.C.
7%	Brunnera macrophylla	#1	Cont.	18" O.C.
7%	Epimedium versicolor	#1	Cont.	12" O.C.
7%	Euphorbia amygdaloides	#1	Cont.	18" O.C.
8%	Geranium 'Brookside'	#1	Cont.	18" O.C.
7%	Galium odoratum	#1	Cont.	12" O.C.
8%	Tiarella cordifolia	#1	Cont.	18" O.C.

3. Feature Planting - Zone 3 (21,863 SF / .5 AC.)

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
	PERENNIALS / GROUNDCOVERS / GRASSES (100%)			
9%	Allium 'Purple Sensation'	DN1	Bulb	6" O.C.
9%	Brunnera macrophylla	#1	Cont.	18" O.C.
9%	Epimedium versicolor	#1	Cont.	12" O.C.
9%	Geranium 'Brookside'	#1	Cont.	18" O.C.
9%	Galium odoratum	#1	Cont.	12" O.C.
9%	Heuchera x 'Silver Scrolls'	#1	Cont.	18" O.C.
9%	Narcissus 'Carlton'	DN1	Bulb	6" O.C.
9%	Narcissus 'Geranium'	DN1	Bulb	6" O.C., White Flower
9%	Osmunda cinnamomeum	#1	Cont.	18" O.C.
9%	Pachysandra procumbens	#1	Cont.	12" O.C.
9%	Tiarella cordifolia	#1	Cont.	18" O.C.

7. Enhanced Woodland (71,259 SF / 1.63 AC.)

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
	SHRUBS (60%)			
346	Azalea 'Ruth May'	#3	Cont.	18" Spd., Matched Pink Flower
346	Ceanothus americanus	#3	Cont.	18" Spd., Matched New Jersey Tea
346	Clethra alnifolia 'Sixteen Candles'	18" Ht.	#3	24" Spd., Matched
346	Hamamelis virginiana	5' Ht.	B&B	Matched
346	Itea virginica 'Sprich'	#3	Cont.	36" O.C.
346	Little Henry Sweetspire	#3	Cont.	18" Spd., Matched 10% Male
346	Rhododendron 'Catawbiense Album'	42" Spd.	B&B	Full, White Flower
346	Rhus aromatica 'Gro Low'	#3	Cont.	18" Spd., Matched 36" O.C.
346	Viburnum acerifolium	#5	30" Spd.	
	PERENNIALS / GROUNDCOVERS / GRASSES (40%)			
2%	Asarum canadense	#SP4	Cont.	12" O.C.
2%	Aster cordifolium	#SP4	Cont.	18" O.C.
5%	Athyrium filix-femina	#1	Cont.	18" O.C.
3%	Matteuccia struthiopteris	#1	Cont.	18" O.C.
3%	Mertensia virginica	#SP4	Cont.	18" O.C.
4%	Osmunda cinnamomeum	#1	Cont.	18" O.C.
2%	Phlox stolonifera	#1	Cont.	18" O.C.
7%	Pachysandra procumbens	#1	Cont.	18" O.C.
4%	Podophyllum peltatum	#SP4	Cont.	18" O.C.
5%	Polystichum acrostichoides	#1	Cont.	18" O.C.
3%	Tiarella cordifolia	#1	Cont.	18" O.C.

4. Feature Planting - Zone 4 (4,891 SF / .11 AC.)

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
	SHRUBS (40%)			
44	Prunus laurocerasus 'Otto Luyken'	#5	Cont.	24" Spd., Matched 36" O.C.
44	Rhododendron 'PJM Elite'	#7	Cont.	30" Ht., Matched Lavender Flower, 54" O.C.
25	Aesculus parviflora	42" Spd.	B&B	72" O.C., Matched
	PERENNIALS / GROUNDCOVERS / GRASSES (60%)			
10%	Matteuccia struthiopteris	#1	Cont.	18" O.C.
20%	Osmunda cinnamomeum	#1	Cont.	18" O.C.
30%	Pachysandra procumbens	#1	Cont.	12" O.C.

5. Feature Planting - Zone 5 (2,416 SF / .05 AC.)

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
	SHRUBS (40%)			
29	Fothergilla gardenii	#3	Cont.	24" Ht., Matched White Flower
29	Hydrangea quercifolia 'Sike's Dwarf'	#3	Cont.	18" Spd., Matched 36" O.C.
29	Itea virginica 'Sprich'	#3	Cont.	36" O.C.
29	Leucothoe fontanesiana	#5	Cont.	24" Spd., 36" O.C.
29	Rhus aromatica 'Gro Low'	#3	Cont.	18" Spd., Matched 36" O.C.
29	Skimmia japonica	#5	Cont.	24" Spd., Matched 36" O.C.
	PERENNIALS / GROUNDCOVERS / GRASSES (60%)			
9%	Anemone x hybrida	#1	Cont.	18" O.C.
8%	Astilbe	#1	Cont.	18" O.C.
9%	Epimedium versicolor	#1	Cont.	12" O.C.
8%	Euphorbia amygdaloides	#1	Cont.	18" O.C.
9%	Geranium 'Brookside'	#1	Cont.	18" O.C.
8%	Iris versicolor	#1	Cont.	18" O.C.
9%	Polystichum acrostichoides	#1	Cont.	18" O.C.

6. Feature Planting - Zone 6 (4,720 SF / .1 AC.)

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
	PERENNIALS / GROUNDCOVERS / GRASSES (100%)			
12%	Brunnera macrophylla	#1	Cont.	18" O.C.
13%	Athyrium filix-femina	#1	Cont.	18" O.C.
12%	Carex oshimensis	#1	Cont.	18" O.C.
13%	Galanthus nivalis	DN1	BULB	6" O.C.
12%	Helleborus 'Brandywine'	#1	Cont.	18" O.C.
13%	Heuchera x 'Silver Scrolls'	#1	Cont.	18" O.C.
12%	Pachysandra procumbens	#1	Cont.	18" O.C.
13%	Pulmonaria longifolia	#1	Cont.	18" O.C.

8. Native Meadow (56,451 SF / 1.29 AC.)

% OF MIX	BOTANICAL/COMMON NAME	ROOT	CULTIVAR/ECOTYPE
30.0	PERENNIALS / GROUNDCOVERS / GRASSES	SEED	APB
20.0	Agrostis perennans	SEED	MD or NC
15.0	Autumn Bentgrass	SEED	PA preferred
30.0	Chasmanthium laxum	SEED	MD or VA
1.0	Slender Woodoats	SEED	PA
1.0	Elymus virginicus	SEED	PA
1.0	Virginia Wildrye	SEED	NC
1.0	Panicum anceps	SEED	VA
0.3	Beaked Panicgrass	SEED	MD
0.7	Aster cordifolius	SEED	PA
	Blue Wood Aster		
	Aster divaricatus		
	White Wood Aster		
	Liatris graminifolia		
	Grass Leaved Blazing Star		
	Liatris squarrosa		
	Scaly Blazing Star		
	Pycnanthemum incanum		
	Hoary Mountain Mint		
	Solidago odora		
	Licorice Scented Goldenrod		

Apply at 20 lbs. / acre with a cover crop of grain rye at 30 lbs. / acre.

LANDSCAPE NOTES:

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.125 OF HOWARD COUNTY CODE, THE ALTERNATIVE COMPLIANCE PROVISIONS OF THE LANDSCAPE MANUAL, AND THE LANDSCAPE GUIDELINES FOUND WITHIN THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES.

2. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE FINAL RELEASE OF THE LANDSCAPE PLAN UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS

3. THE OWNER, TENANTS, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *William J. Jones* 9-8-15
Date: 9-2-15
Chief, Division of Land Development: *Don Edwards* 8-25-15
Date: 8-25-15

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: 11-20-14
* See Sh. 2 for Phasing & Add'l Required Approval for Ph 3-7

CERTIFICATION NOTE:
THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

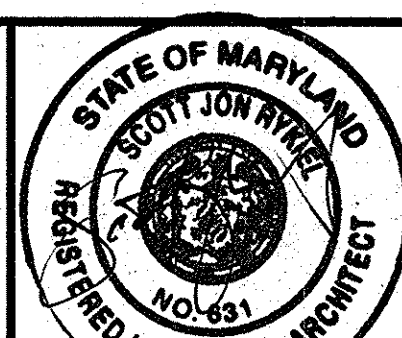
Scott Rykiel
SCOTT RYKIEL, RLA 631

Michael McCall 9/14/15
DATE DEVELOPER'S/OWNER'S NAME

MAHAN RYKIEL ASSOCIATES INC.
The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R.

PREPARED FOR & DEVELOPER:
INNER ARBOR TRUST
106.30 LITTLE PATUXENT PARKWAY
CENTURY PLAZA, SUITE 315
COLUMBIA, MD 21044
ATTN: MICHAEL MCCALL
410-740-0029



FOR INFORMATION ONLY NOT FOR CONSTRUCTION

ELECTION DISTRICT No. 5

SITE UNDERSTORY PLANT SCHEDULE
DOWNTOWN COLUMBIA
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
TOWN CENTER - SECTION 1 AREA
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32
GREEN COMMERCIAL BUILDING

SITE PLANT SCHEDULE		LS206
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	54 OF 85

GENERAL NOTES:
1. REFER TO SHEET LS201 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
2. REFER TO SHEET LS207 FOR ALL PLANTING DETAILS.
3. STREAM RESTORATION/RIPARIAN PLANTINGS TO BE PROVIDED BY BIOHABITATS IN FUTURE REDLINE SUBMISSION, WITH THE EXCEPTION OF TREES SHOWN ON LS201.
4. PLANT QUANTITIES ARE ESTIMATES ONLY. FINAL PLANT QUANTITIES MAY SHIFT BASED ON FINAL PLANTING DESIGN.

NOTES:

- REFER TO SHEET LS105 FOR PAVING AREAS AND MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC. SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.

HARDSCAPE KEY

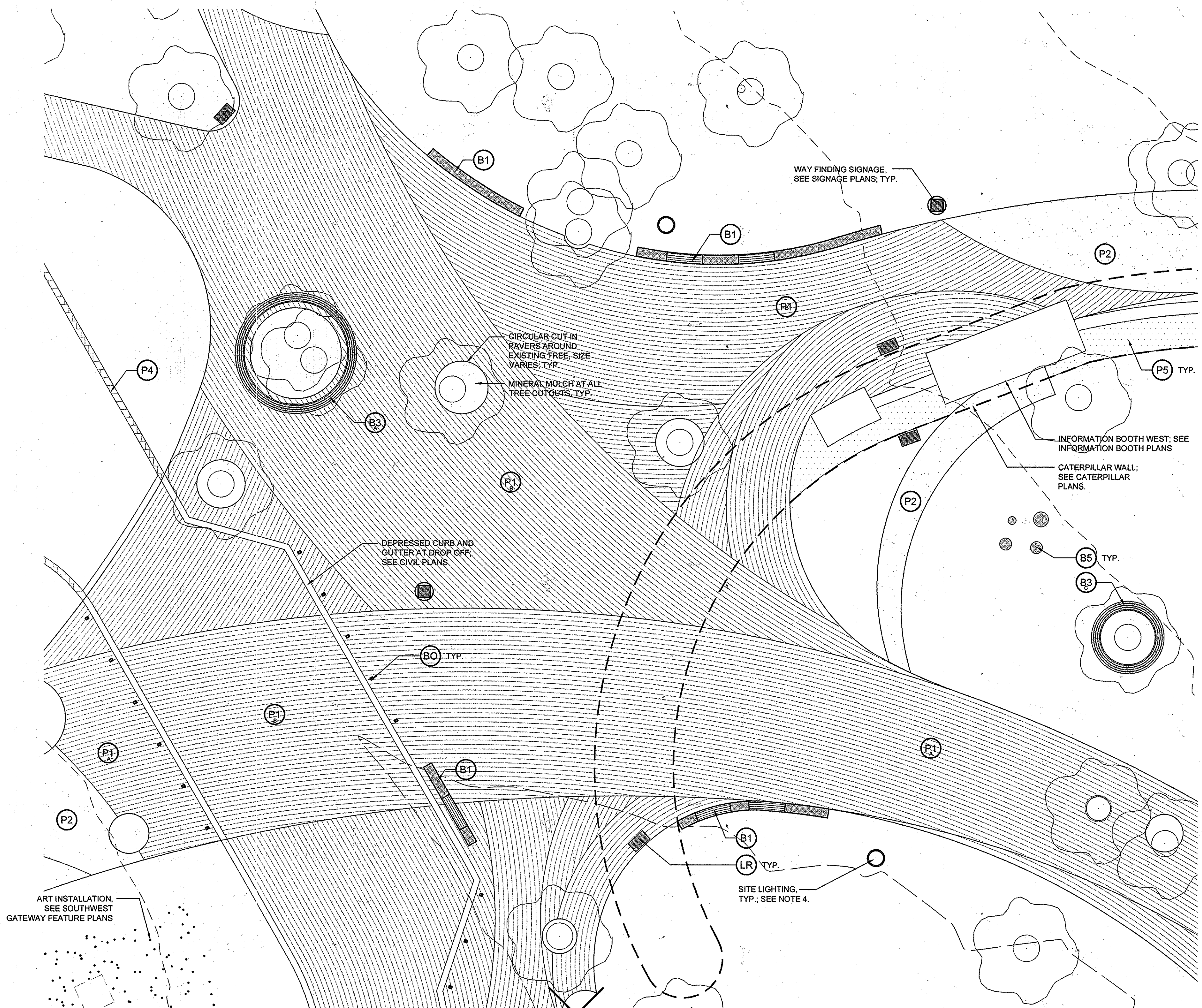
PAVING		SITE AMENITIES	
	DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION		BENCH 1 - CUSTOM SEAT WALL
	DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION		BENCH 3 - CIRCULAR WOOD BENCH A - 20" DIAMETER C - 12" DIAMETER
	DECORATIVE PEDESTRIAN PAVERS; LIGHT DUTY SECTION ON CONCRETE BASE AT GATEWAY ENTRANCES ONLY		BENCH 5 - CUSTOM STUMP SEATING
	FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION		BOLLARD
	COBBLE STONE EDGE		HANDRAIL AT STAIRS
	STONE DUST		LITTER/RECYCLING RECEPTACLE
	GRANITE PAVERS		

SITE LEGEND

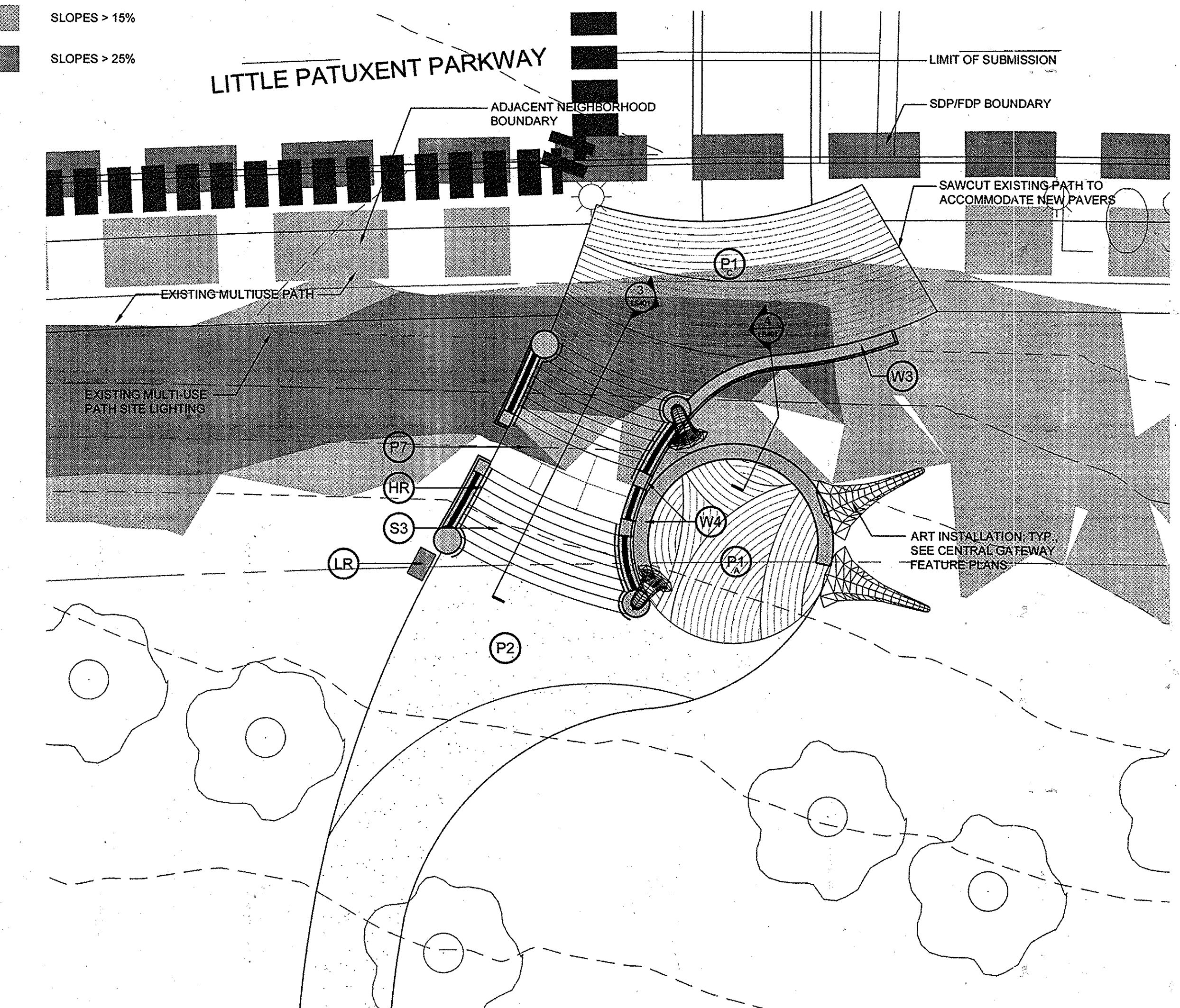
	EXISTING TREE TO REMAIN
	EXISTING TOPOGRAPHY
	LIMIT OF SUBMISSION
	SDP/FDP BOUNDARY
	ADJACENT NEIGHBORHOOD BOUNDARY
	SLOPES > 15%
	SLOPES > 25%

WALLS/STAIRS

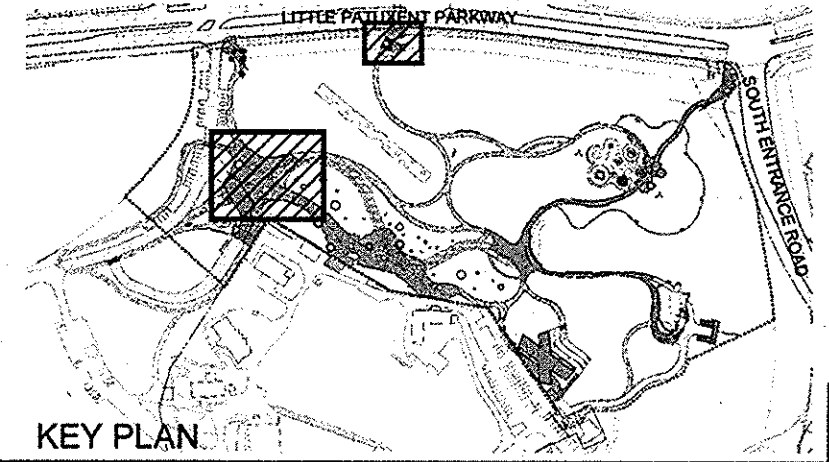
	STONE VENEER RETAINING WALL (AT CENTRAL GATEWAY)
	STONE VENEER RETAINING AND SEAT WALL W/ STONE CAP AT CENTRAL GATEWAY LANDING
	GRANITE BLOCK STEPS (AT CENTRAL GATEWAY)



1 ENLARGEMENT PLAN A
1"=10'



2 ENLARGEMENT PLAN B
1"=10'

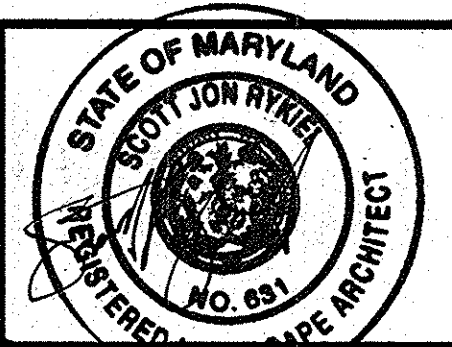


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Michael McCann* Date: 9-9-15
 Chief, Division of Land Development: *Michael McCann* Date: 9-2-15
 Chief, Development Engineering Division: *Michael McCann* Date: 8-25-15

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 * See Sheet 2 for Phasing and Add'l Required Approvals for Phases 3-7.

MAHAN RYKIEL ASSOCIATES INC.
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

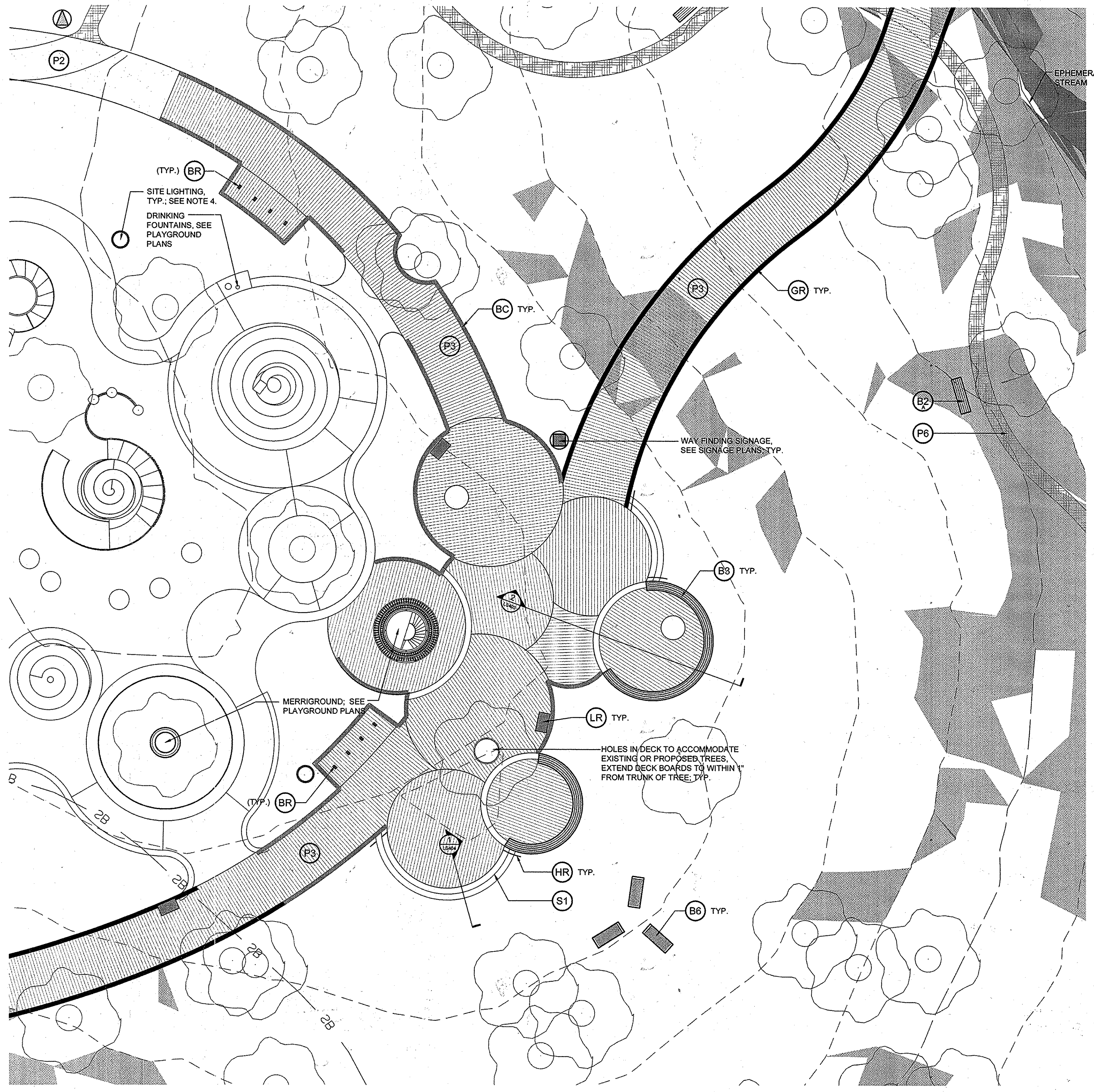
PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029



FOR INFORMATION ONLY: NOT FOR CONSTRUCTION

SITE ENLARGEMENT PLANS
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER - SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SITE ENLARGEMENT PLANS		LS301
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP -- GRD	SHEET
JUNE, 2015	36 - 01	55 OF 85



NOTES:

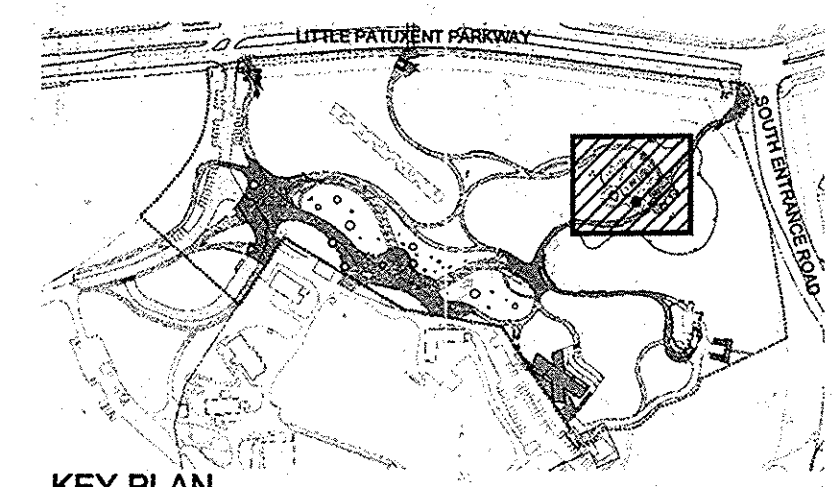
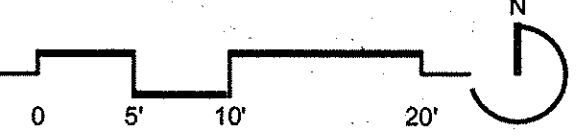
- REFER TO SHEET LS105 FOR PAVING AREAS AND MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC. SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.

- HARDSCAPE KEY**
- PAVING**
- (P2) (2) (LS105) FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION
 - (P3) (5,6) (LS105) BOARDWALK, RECLAIMED IPE WOOD DECKING
 - (P6) MULCH FOOTPATH
- WALLS/STAIRS**
- (S1) (1) (LS105) BOARDWALK STEP
- SITE AMENITIES**
- (BR) (4) (LS105) BICYCLE RACK
 - (B2) (2) (LS104) BENCH 2B - 6' CUSTOM WOOD & METAL BENCH
 - (B3) (3) (LS104) CIRCLE BENCH AT LILY PADS; TYP. OF 2
 - (B6) (3) (LS106) PRE-FABRICATED ARTFUL LANDSCAPE SEATING
 - (BC) (1) (LS105) BOARDWALK CURB
 - (GR) (1) (LS102) GUARDRAIL AT BOARDWALK
 - (HR) (2) (LS105) HANDRAIL AT STAIR
 - (LR) (2) (LS106) LITTER/RECYCLING RECEPTACLE

SITE LEGEND

- (Symbol) EXISTING TREE TO REMAIN
- (Dashed line) EXISTING TOPOGRAPHY
- (Solid line) STREAM
- (SB) STREAM BUFFER
- (Light gray) SLOPES > 15%
- (Dark gray) SLOPES > 25%

1 ENLARGEMENT PLAN C
1"=10'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Valerie Jaffe* Date: 9-2-15
 Chief, Division of Land Development: *Cheryl...* Date: 9-2-15
 Chief, Development Engineering Division: *...* Date: 9-25-15

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 * See Sheet 2 for Pricing & Additional Required Approvals for Phases 3-7

MAHAN RYKIEL ASSOCIATES INC.
 The Steff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.8001

NO.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL MCCALL
 410-740-0029



FOR INFORMATION ONLY:
 NOT FOR CONSTRUCTION

SITE ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER - SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

KEY PLAN

SITE ENLARGEMENT PLANS		LS302
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	56 OF 85

SITE LEGEND

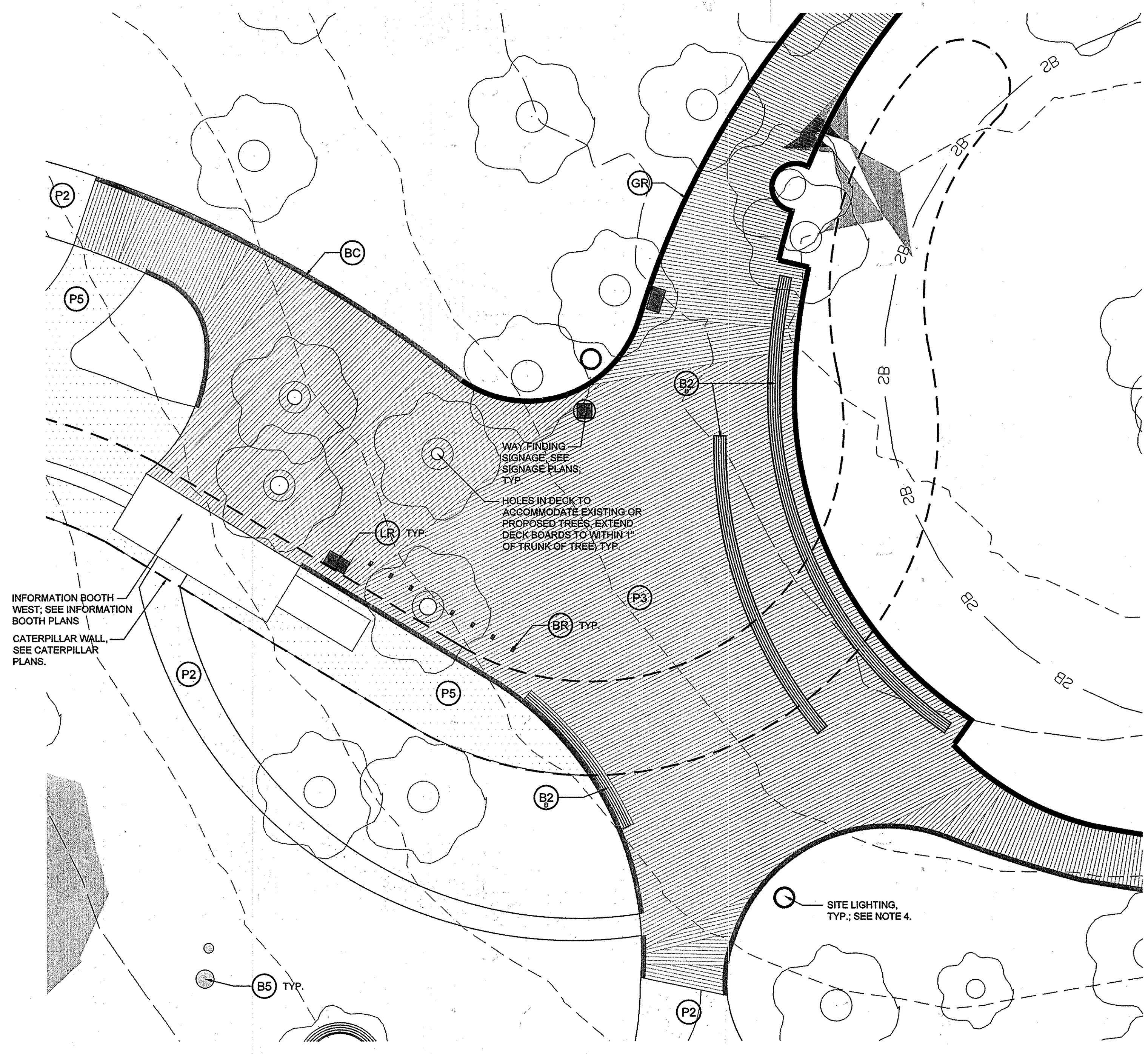
- EXISTING TREE TO REMAIN
- LIMIT OF SUBMISSION
- SDP/FDP BOUNDARY
- EXISTING TOPOGRAPHY
- STREAM BUFFER
- SLOPES > 15%
- SLOPES > 25%

NOTES:

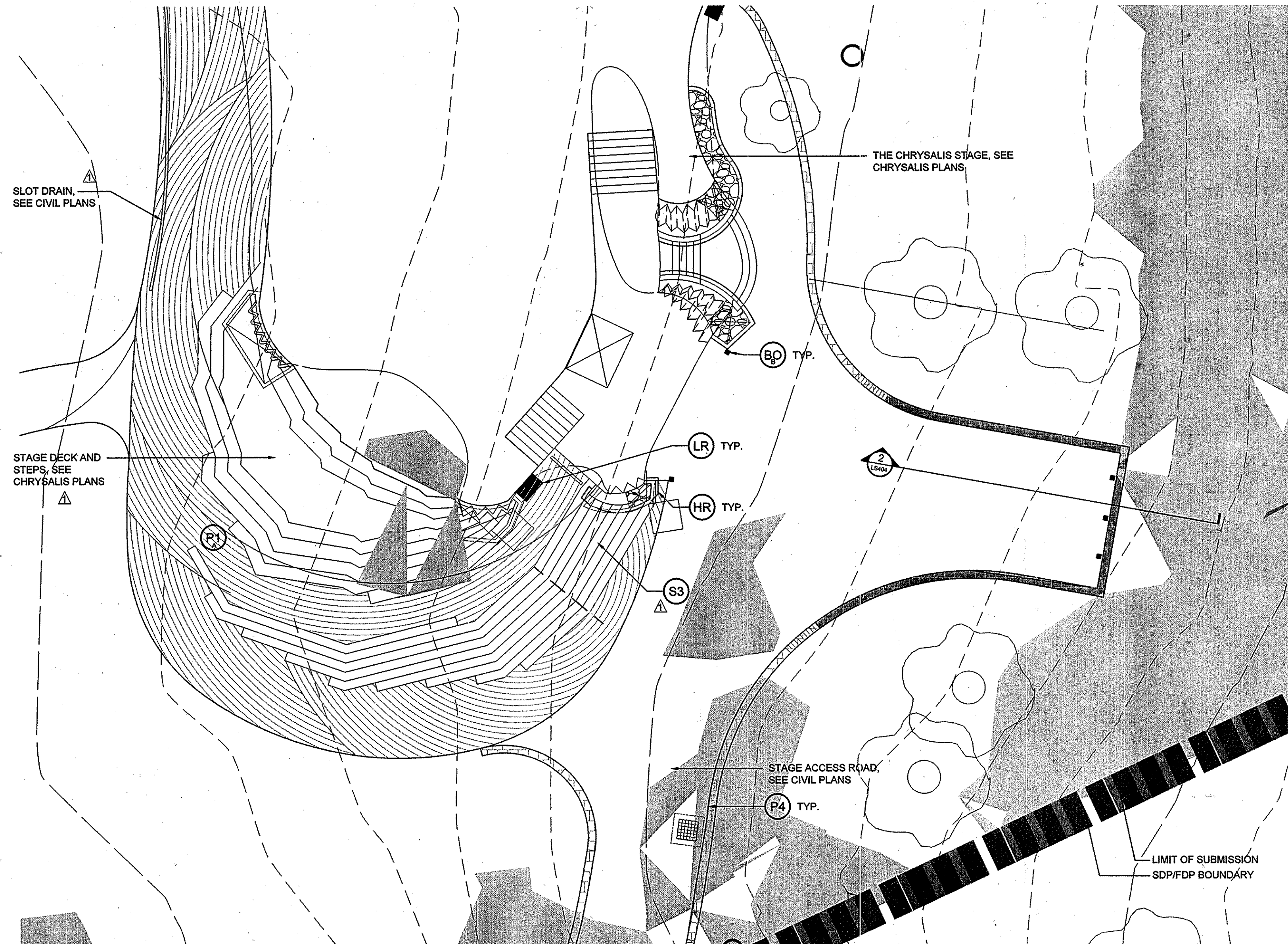
- REFER TO SHEET LS105 FOR PAVING AREAS AND MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
- SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.

HARDSCAPE KEY

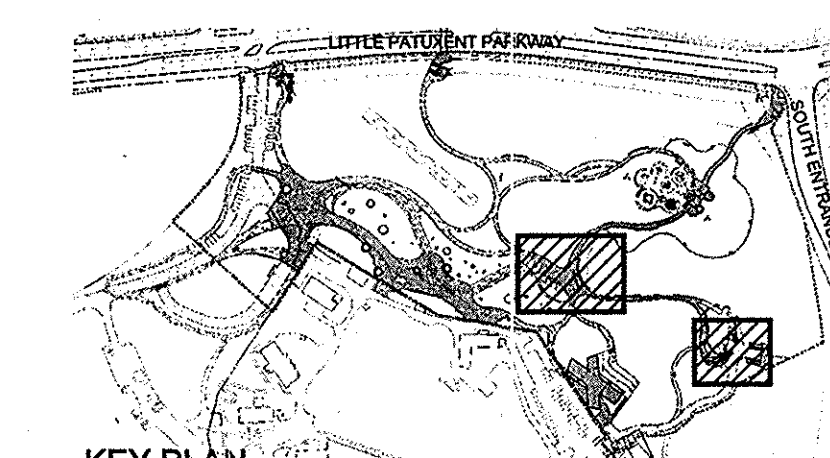
- PAVING**
- P1 (1) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
 - P1 (1) DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION
 - P2 (2) PERVIOUS FLEXIBLE PAVING; LIGHT DUTY SECTION
 - P3 (5.6) BOARDWALK, IPE WOOD DECKING
 - P4 (3) COBBLE STONE EDGE
 - P5 (4) STONE DUST
- WALLS/STAIRS**
- S3 (1) CONCRETE STEPS (AT CHRYSALIS) WITH STAINLESS STEEL HANDRAIL
- SITE AMENITIES**
- B1 (3) BENCH 1 - CUSTOM SEAT WALL
 - B2 (2) BENCH 2A - LONG CUSTOM WOOD & METAL BENCH (LENGTH VARIES)
 - B5 (4) BENCH 5 - CUSTOM STUMP SEATING
 - B0 (1) BOLLARD B @ CHRYSALIS
 - BC (1) BOARDWALK CURB
 - GR (2) GUARDRAIL AT BOARDWALK
 - HR (2) HANDRAIL AT STAIRS
 - LR (2) LITTER/RECYCLING RECEPTACLE



1 ENLARGEMENT PLAN D
1"=10'



2 ENLARGEMENT PLAN E
1"=10'



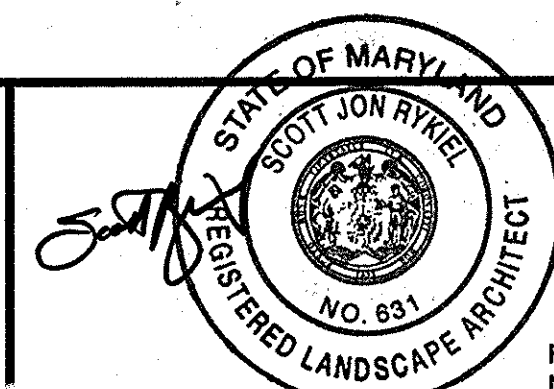
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 2-11-16
 Chief, Division of Land Development: *[Signature]* Date: 2-11-16
 Chief, Development Engineering Division: *[Signature]* Date: 2-4-16

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 *See Sh 2 for phasing and add'l required approvals for Phs 3-7

MAHAN RYKIEL ASSOCIATES INC.
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APP'D
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

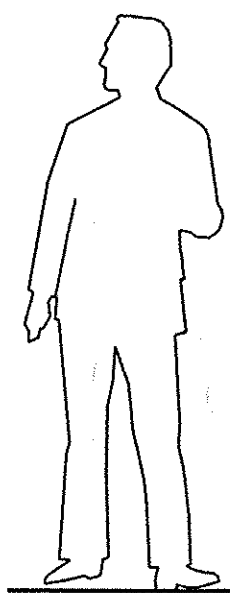
PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

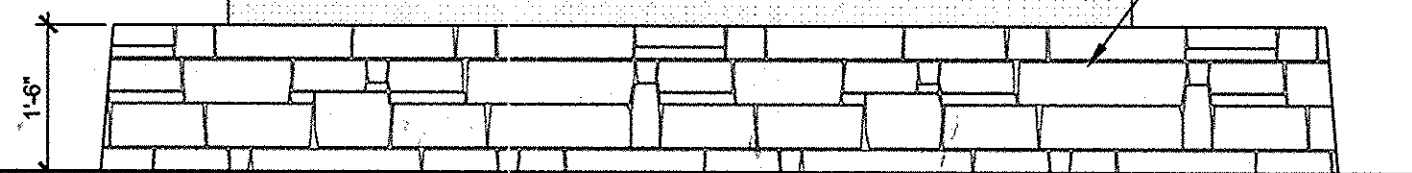
REVISED SITE ENLARGEMENT PLANS
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER- SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 HOWARD COUNTY, MARYLAND

REVISED SITE ENLARGEMENT PLANS		LS303
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	57 OF 85



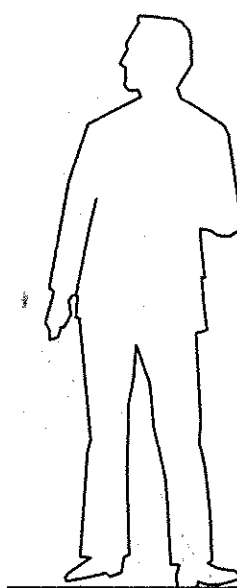
MERRIWEATHER PARK

MERRIWEATHER PARK SIGN, BY OTHERS
STONE VENEER RETAINING WALL, BACK AND SIDES BATTERED, 2:12



1 TYPICAL ENTRANCE SIGN WALL

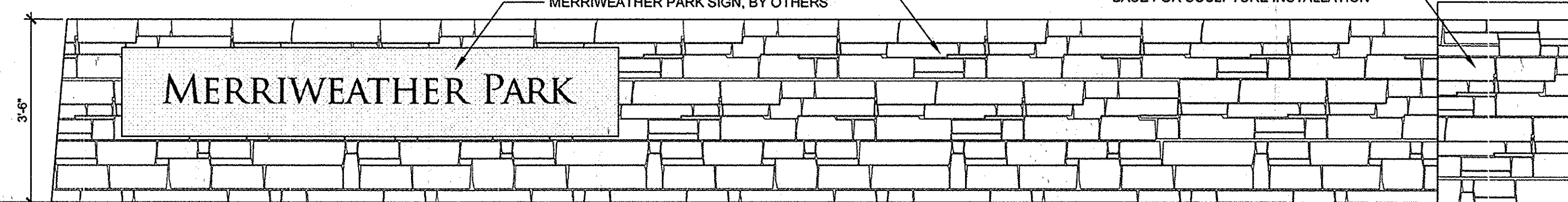
Scale: 1/2"=1'-0"



MERRIWEATHER PARK

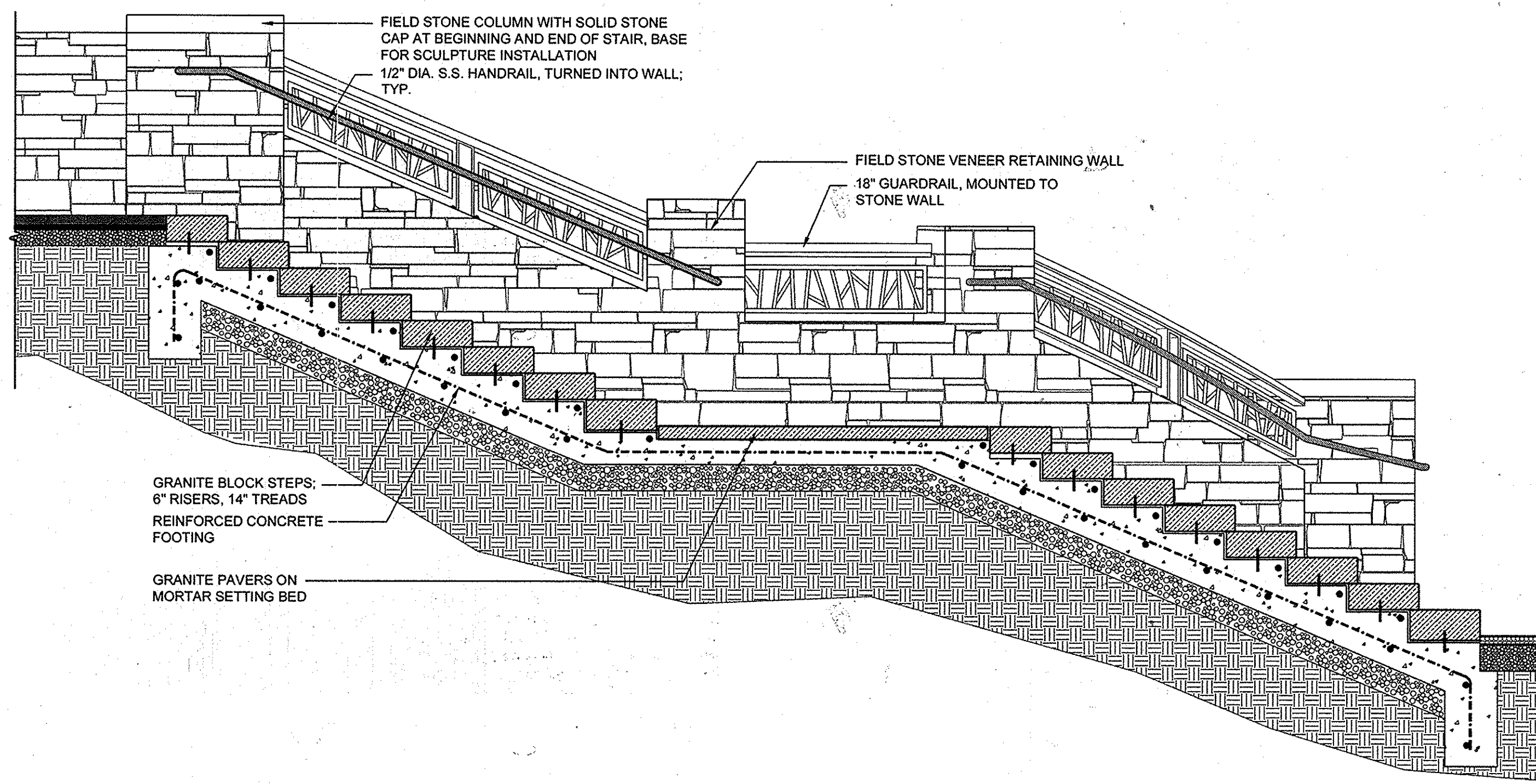
STONE VENEER RETAINING WALL, BACK AND SIDES BATTERED, 1:12
MERRIWEATHER PARK SIGN, BY OTHERS

STONE COLUMN WITH STONE CAP, BASE FOR SCULPTURE INSTALLATION



2 ENTRANCE SIGN WALL AT CENTRAL GATEWAY

Scale: 1/2"=1'-0"



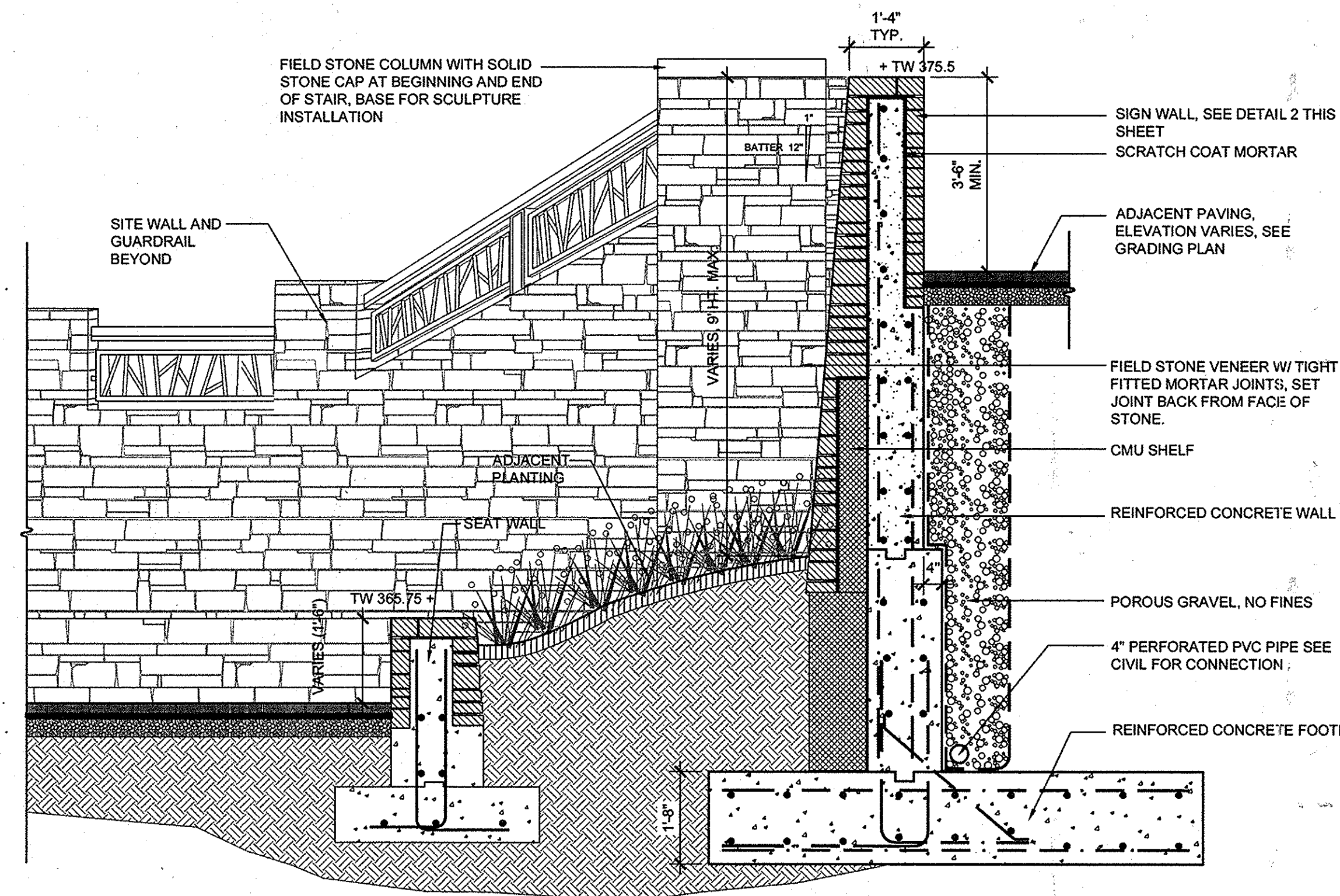
FIELD STONE COLUMN WITH SOLID STONE CAP AT BEGINNING AND END OF STAIR, BASE FOR SCULPTURE INSTALLATION
1/2" DIA. S.S. HANDRAIL, TURNED INTO WALL; TYP.

FIELD STONE VENEER RETAINING WALL
18" GUARDRAIL, MOUNTED TO STONE WALL

GRANITE BLOCK STEPS:
6" RISERS, 14" TREADS
REINFORCED CONCRETE FOOTING
GRANITE PAVERS ON MORTAR SETTING BED

3 STAIRS AT CENTRAL GATEWAY

Scale: 1/2"=1'-0"



FIELD STONE COLUMN WITH SOLID STONE CAP AT BEGINNING AND END OF STAIR, BASE FOR SCULPTURE INSTALLATION

SITE WALL AND GUARDRAIL BEYOND

SIGN WALL, SEE DETAIL 2 THIS SHEET
SCRATCH COAT MORTAR

ADJACENT PAVING, ELEVATION VARIES, SEE GRADING PLAN

FIELD STONE VENEER W/ TIGHT FITTED MORTAR JOINTS, SET JOINT BACK FROM FACE OF STONE

CMU SHELF

REINFORCED CONCRETE WALL

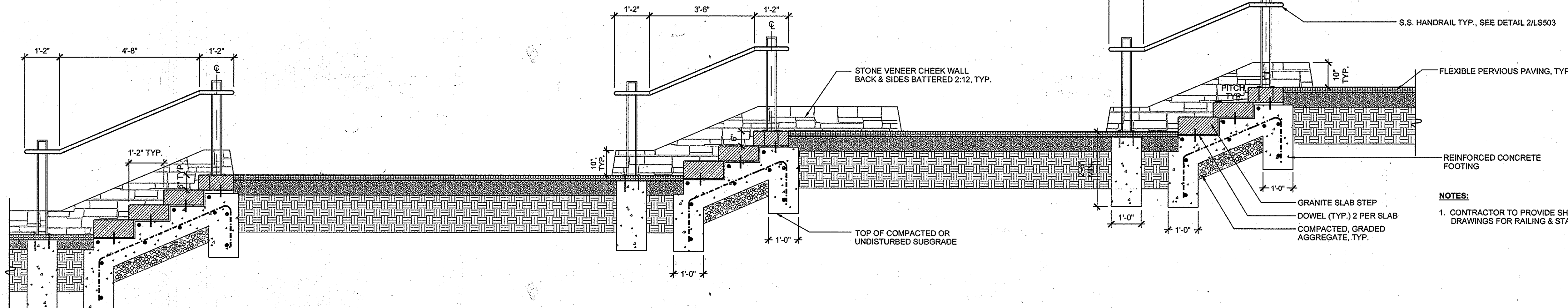
POROUS GRAVEL, NO FINES

4" PERFORATED PVC PIPE SEE CIVIL FOR CONNECTION

REINFORCED CONCRETE FOOTING

4 SITE WALLS AT CENTRAL GATEWAY

Scale: 1/2"=1'-0"



STONE VENEER CHEEK WALL
BACK & SIDES BATTERED 2:12, TYP.

TOP OF COMPACTED OR UNDISTURBED SUBGRADE

S.S. HANDRAIL TYP., SEE DETAIL 2/LS503

FLEXIBLE PERVIOUS PAVING, TYP.

REINFORCED CONCRETE FOOTING

GRANITE SLAB STEP
DOWEL (TYP.) 2 PER SLAB
COMPACTED, GRADED AGGREGATE, TYP.

NOTES:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR RAILING & STAIRS.

5 STAIRS AT BUTTERFLY BUILDING

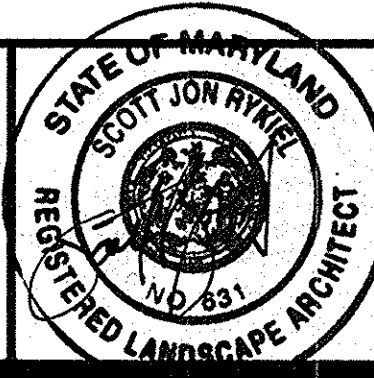
Scale: 1/2"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *William J. Joffe* 9-8-15
Date: 9-23-15
Chief, Division of Land Development: *Gregory M. ...* 8-25-15
Date: 8-25-15
Chief, Development Engineering Division: *...*

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014
* See Sh. 2 for Planning and Add'l Required Approvals for Phases 3-7

MAHAN RYKIEL
ASSOCIATES INC.
The Steiff Silver Building, 800 Wyman Park Drive.,
Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR & DEVELOPER:
INNER ARBOR TRUST
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA, SUITE 315
COLUMBIA, MD 21044
ATTN: MICHAEL McCALL
410-740-0029



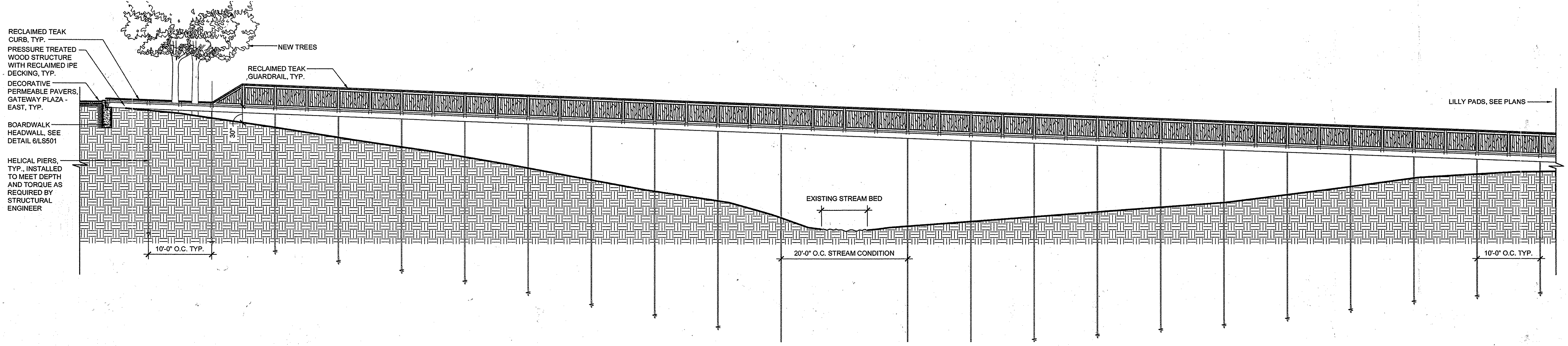
FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

ELECTION DISTRICT No. 5

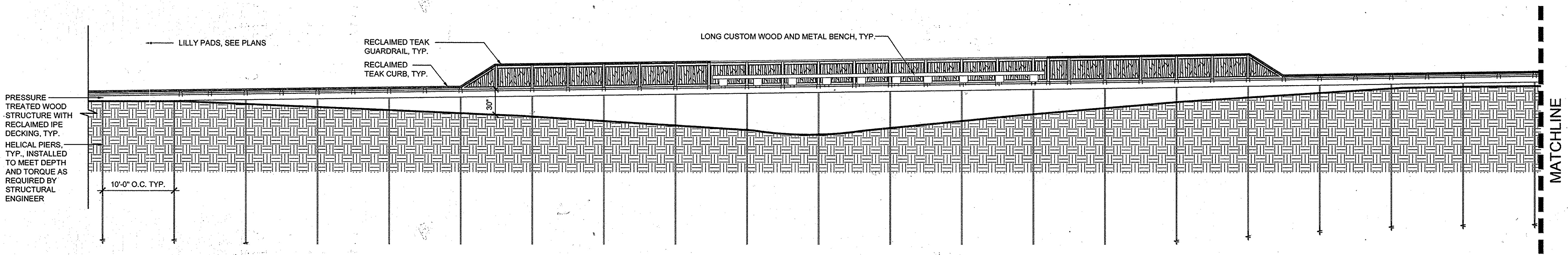
SITE SECTION-ELEVATIONS
DOWNTOWN COLUMBIA
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
TOWN CENTER- SECTION 1 AREA 1
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
GREEN COMMERCIAL BUILDING

SITE SECTION-ELEVATIONS		LS401
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	58 OF 85

HOWARD COUNTY, MARYLAND



1 BOARDWALK SECTION/ELEVATION - GATEWAY TO LILY PADS
SCALE: 1/8"=1'-0"



2 BOARDWALK SECTION/ELEVATION - LILY PADS TO TICKET BOOTH
SCALE: 1/8"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Michael J. Jaffe
 Director
 Date: 9-2-15
 Chief, Division of Land Development
 Date: 8-25-15
 Chief, Development Engineering Division

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 *See Site 2 for Phasing & Add'l Required Approvals for Phases 3-7

MAHAN RYKIEL ASSOCIATES INC.
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R.

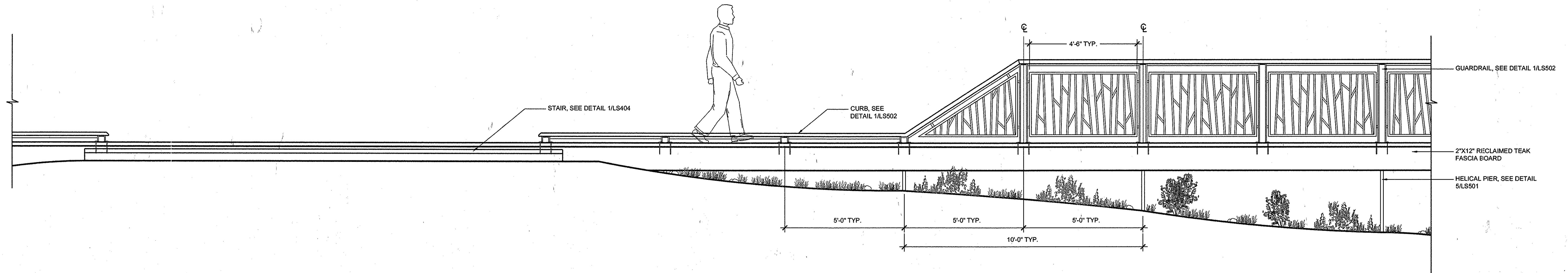
PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029



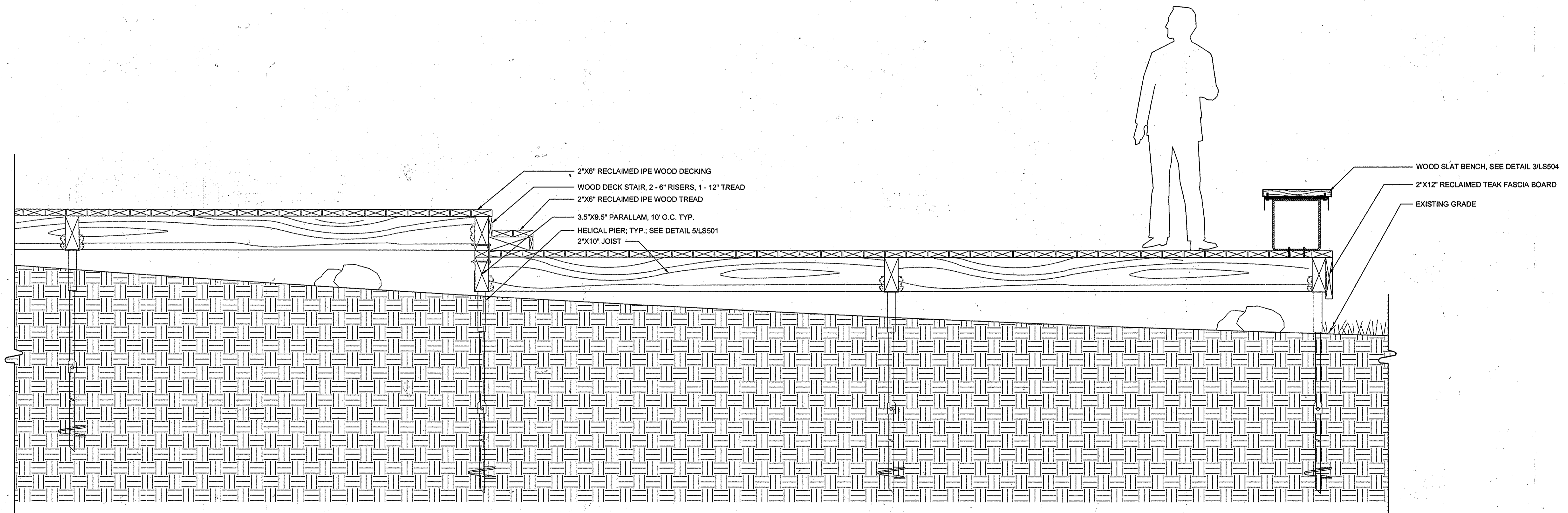
FOR INFORMATION ONLY;
 NOT FOR CONSTRUCTION

SITE SECTION-ELEVATIONS
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER- SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SITE SECTION-ELEVATIONS		LS402
SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 13043
DATE JUNE, 2015	TAX MAP - GRID 36 - 01	SHEET 59 OF 85



1 TYPICAL BOARDWALK ELEVATION
SCALE: 1/2"=1'-0"



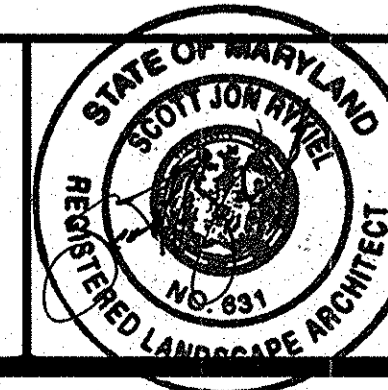
2 LILYPAD SECTION A
SCALE: 3/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 9-2-15
 Chief, Division of Land Development: *[Signature]* Date: 9-2-15
 Chief, Development Engineering Division: *[Signature]* Date: 8-25-15

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 * See Sm. 2 for Phasing & Add'l Required Approvals for Phases 3-7

MAHAN RYKIEL
 ASSOCIATES INC
 The Steff Silver Building, 800 Wyman Park Drive.,
 Suite 100, Baltimore, MD 21211 410.235.6001

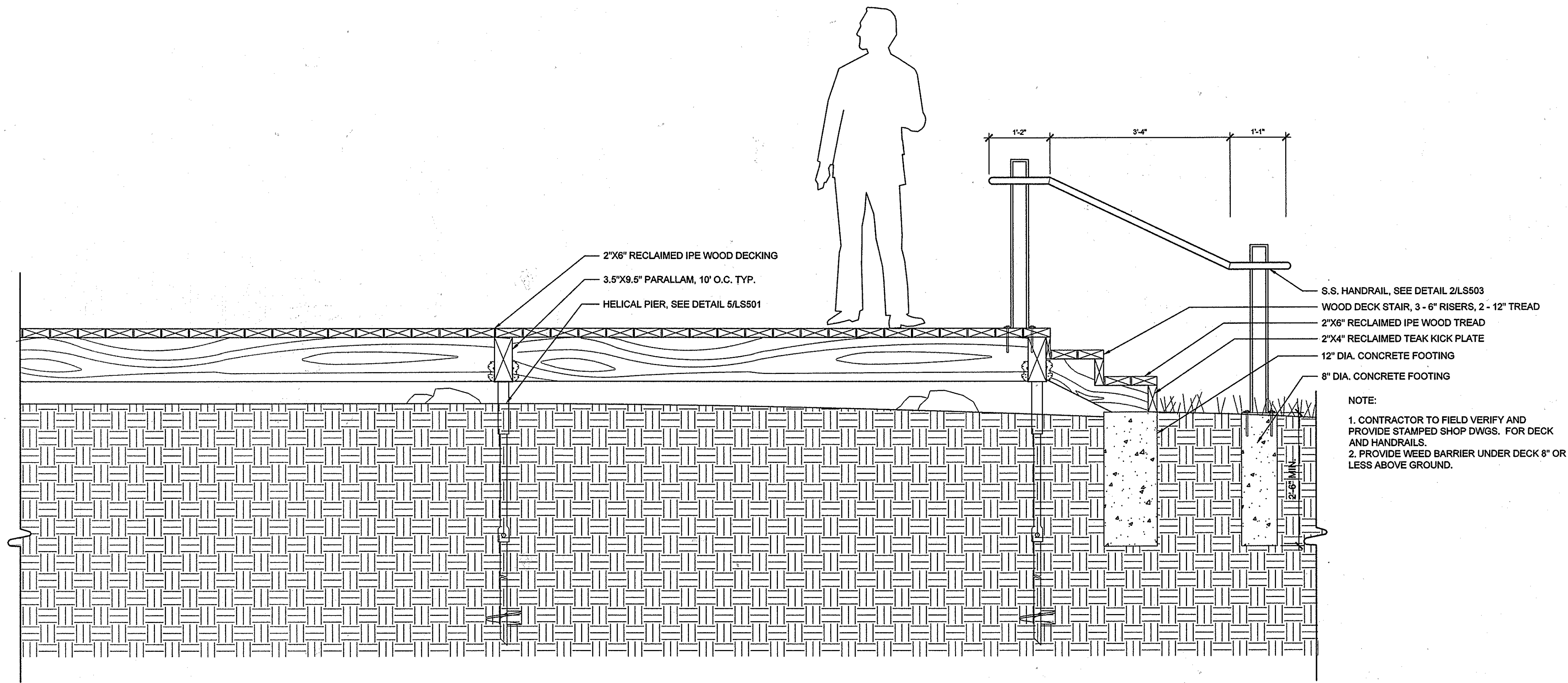
PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029



FOR INFORMATION ONLY;
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SITE SECTION-ELEVATIONS
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER- SECTION 1 AREA 1
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 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5

SITE SECTION-ELEVATIONS		LS403
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	60 OF 85



1 LILY PAD SECTION B
SCALE: 3/4"=1'-0"

DELETED

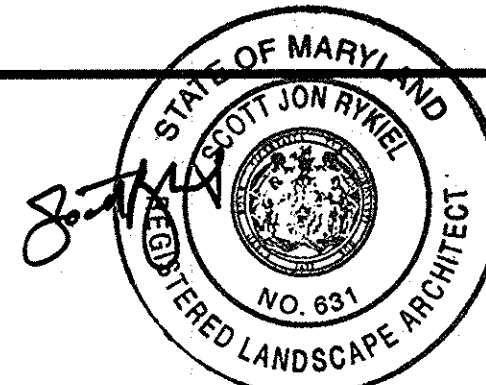
2 DECK AT CHRYSALIS LOADING DOCK
SCALE: 1/2"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Valentino J. Lee* Date: 2-11-14
 Chief, Division of Land Development: *Katrina D. ...* Date: 2-11-16
 Chief, Development Engineering Division: *Chad ...* Date: 2-4-16

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 *See Sheet 2 for Phasing and add'l required approvals for Phs 2-7.

MAHAN RYKIEL
 ASSOCIATES INC
 The Steiff Silver Building, 800 Wyman Park Drive.,
 Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029

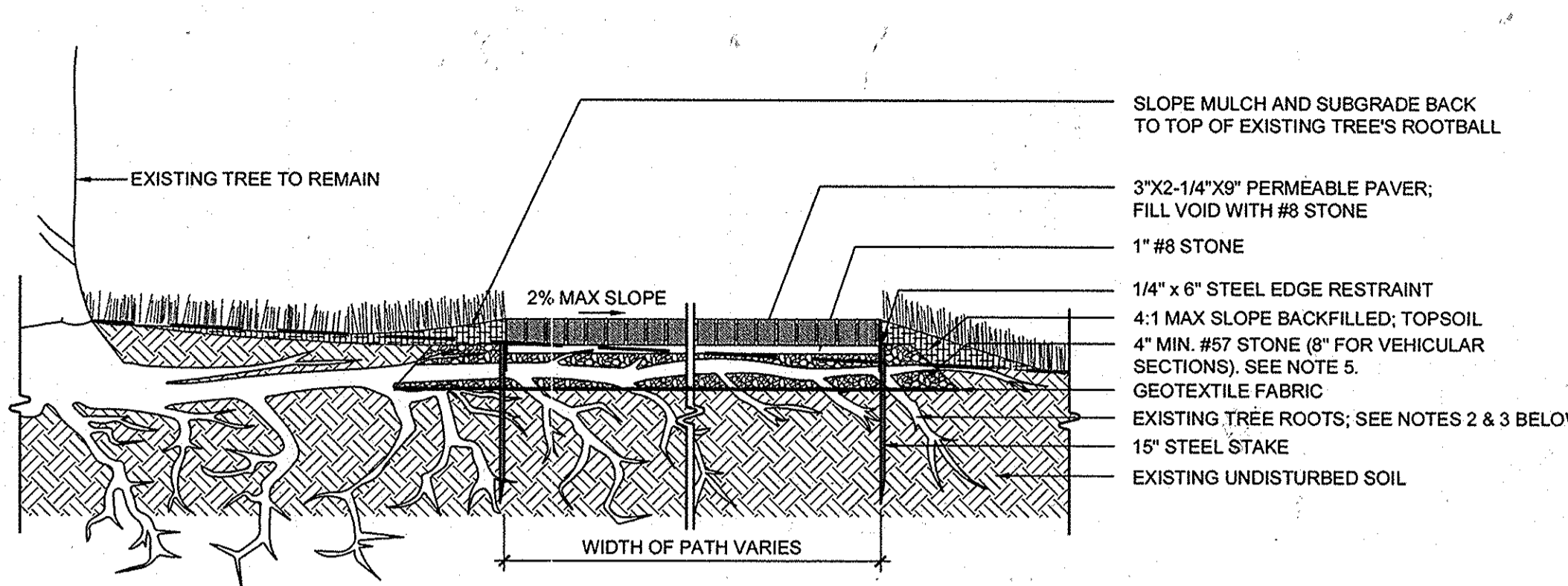


FOR INFORMATION ONLY:
 NOT FOR CONSTRUCTION

REVISED SITE SECTION-ELEVATIONS
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER- SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING

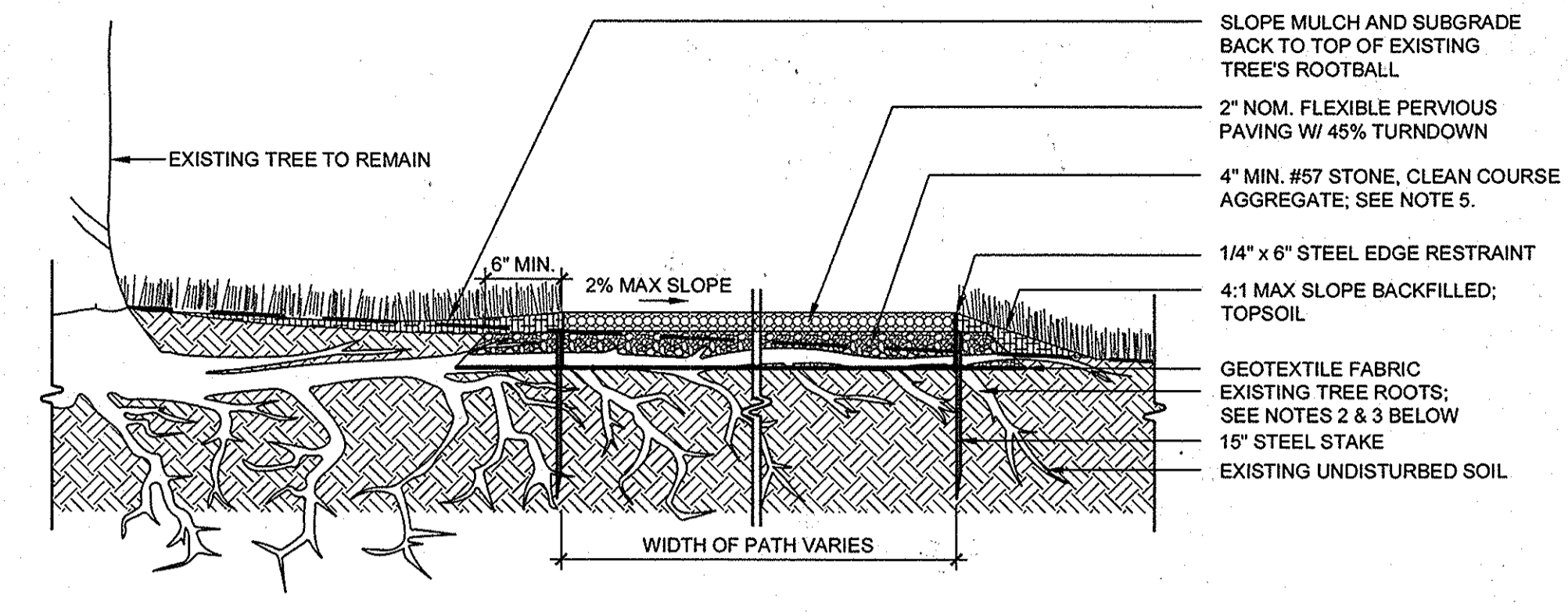
REVISED SITE SECTION-ELEVATIONS		LS404
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	61 OF 85

DES. XXX DRN. XXX CHK. XXX DATE REVISION BY APPR.



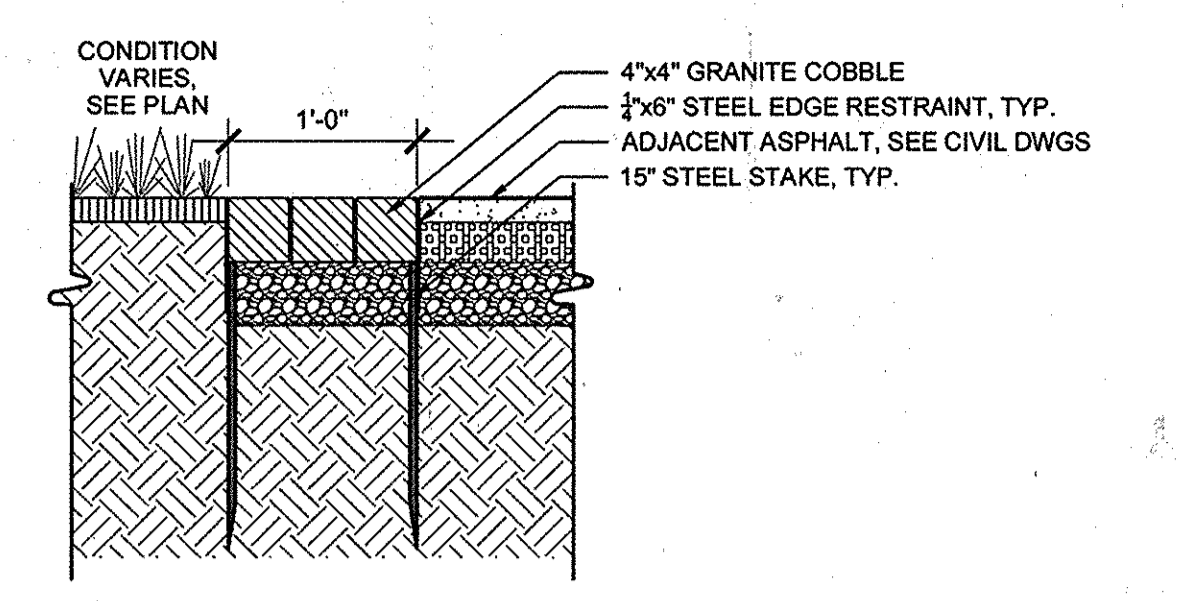
- NOTES:**
1. INSTALL EDGE RESTRAINT PER MANUFACTURER'S GUIDELINES.
 2. USE AIR SPADE TO REMOVE SOIL BETWEEN TREE ROOTS.
 3. FIELD VERIFY STAKE LOCATIONS TO AVOID MAJOR ROOTS.
 4. REFER TO SHEET LS105 FOR PAVER SELECTION.
 5. GRAVEL SUBBASE TO BE INCREASED TO 12" WHERE TREE ROOTS ARE NOT LOCATED.
 6. THE PERMEABLE PAVING USED AT SYMPHONY WOODS IS PLACED MAINLY ABOVE THE EXISTING TREE ROOTS ON A MINIMUM 4" (UP TO 12") AGGREGATE BASE. THE PAVING SURFACE, JOINT TREATMENT, AND AGGREGATE BASE ARE DESIGNED TO FILTER RAIN WATER THROUGH THEM INTO THE EXISTING SOIL LIMITING OR ELIMINATING ROOT INTRUSION INTO THE PAVING SURFACE. ALL PAVING SURFACES ARE ERGONOMIC AND EXCEED ADA GUIDELINES.
 7. AN IMPERMEABLE LINING WILL BE INCORPORATED INTO THE PAVING SECTION OF ANY IMPERMEABLE PAVEMENT WITHIN 10' OF THE BUILDING FOUNDATION. THIS LINING WILL BE INSTALLED BETWEEN THE GRAVEL SUBBASE AND THE EXISTING SUBGRADE AND WILL WRAP UP ALONG THE BUILDING EDGE.

1 PERMEABLE PAVERS
SCALE: 3/4"=1'-0"

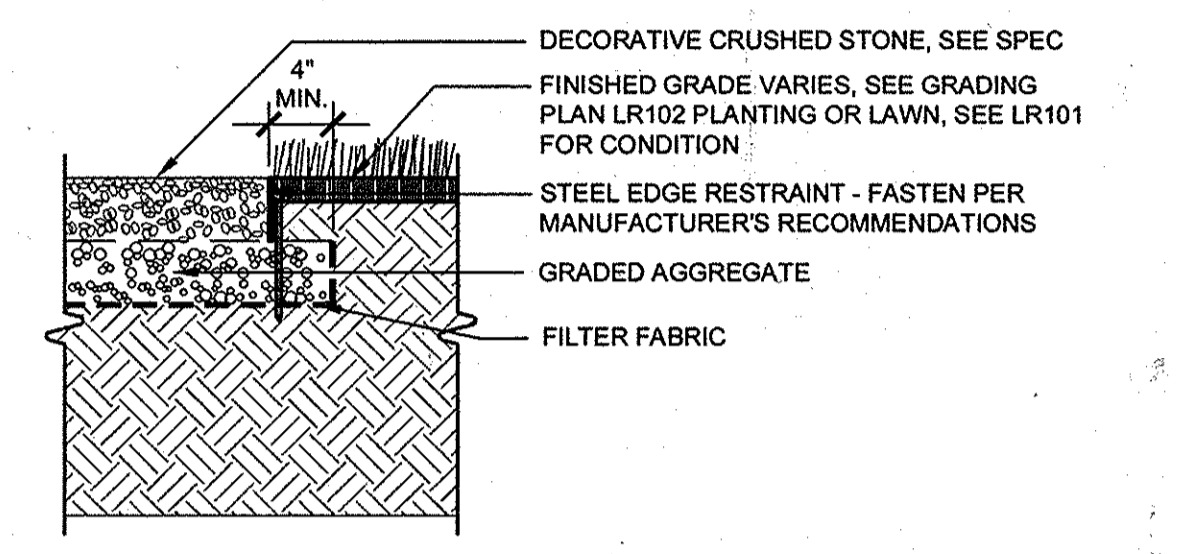


- NOTES:**
1. INSTALL EDGE RESTRAINT PER MANUFACTURER'S GUIDELINES.
 2. USE AIR SPADE TO REMOVE SOIL BETWEEN TREE ROOTS.
 3. FIELD VERIFY STAKE LOCATIONS TO AVOID MAJOR ROOTS.
 4. REFER TO SHEET LS105 FOR PAVING MATERIAL SELECTION.
 5. GRAVEL SUBBASE TO BE INCREASED TO 12" WHERE TREE ROOTS ARE NOT LOCATED.
 6. SINCE FLEXI-PROCESS PRODUCTS ARE NON-CRACKING, TRIP AND FALL LIABILITIES THAT ARE NORMALLY CAUSED BY SHEERING OR ROOT INTRUSION ARE VASTLY REDUCED, IF NOT COMPLETELY ELIMINATED. FLEXI-PAVE SURFACES ARE ERGONOMIC AND EXCEED ADA GUIDELINES.
 7. AN IMPERMEABLE LINING WILL BE INCORPORATED INTO THE PAVING SECTION OF ANY IMPERMEABLE PAVEMENT WITHIN 10' OF THE BUILDING FOUNDATION. THIS LINING WILL BE INSTALLED BETWEEN THE GRAVEL SUBBASE AND THE EXISTING SUBGRADE AND WILL WRAP UP ALONG THE BUILDING EDGE.

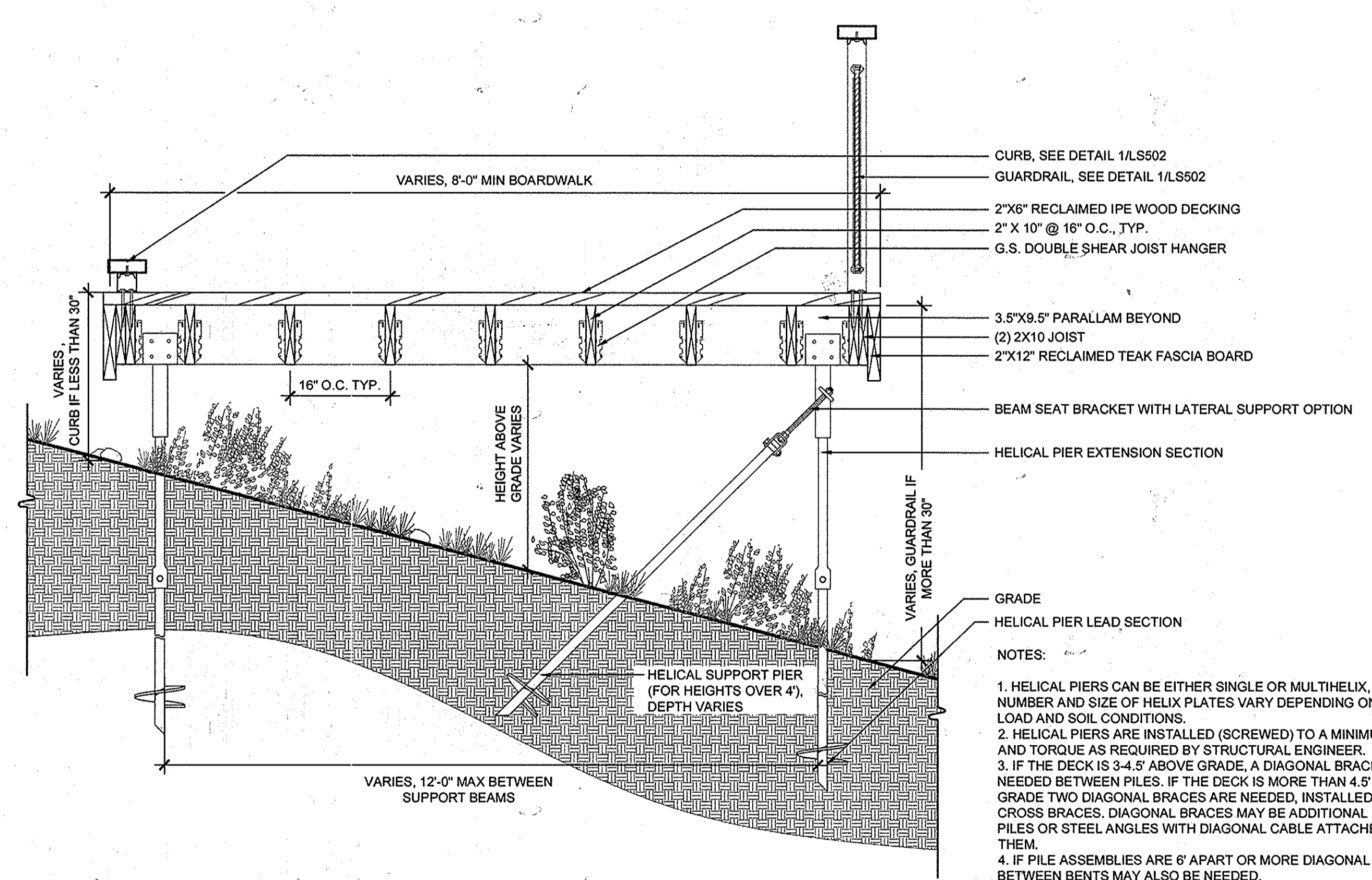
2 FLEXIBLE PERVIOUS PAVEMENT
SCALE: 3/4"=1'-0"



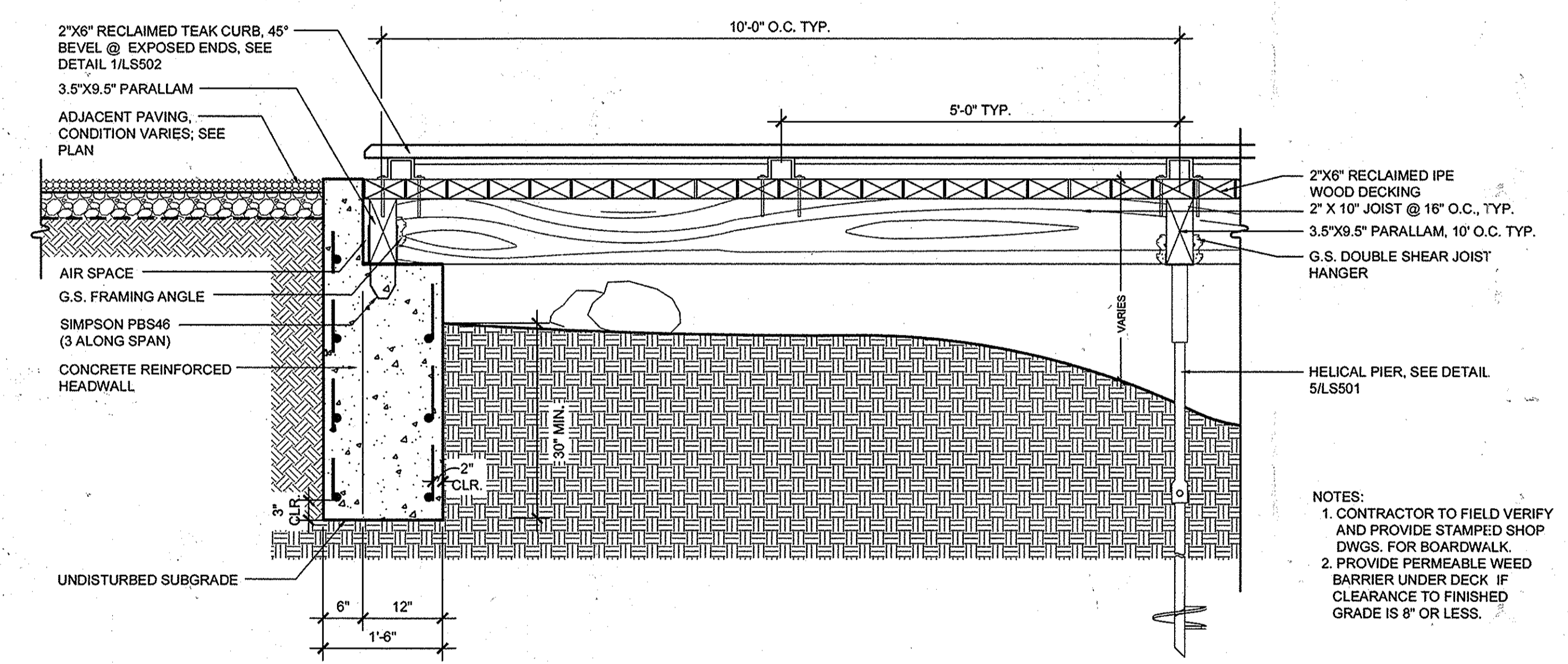
3 COBBLE BAND @ ASPHALT
SCALE: 1"=1'-0"



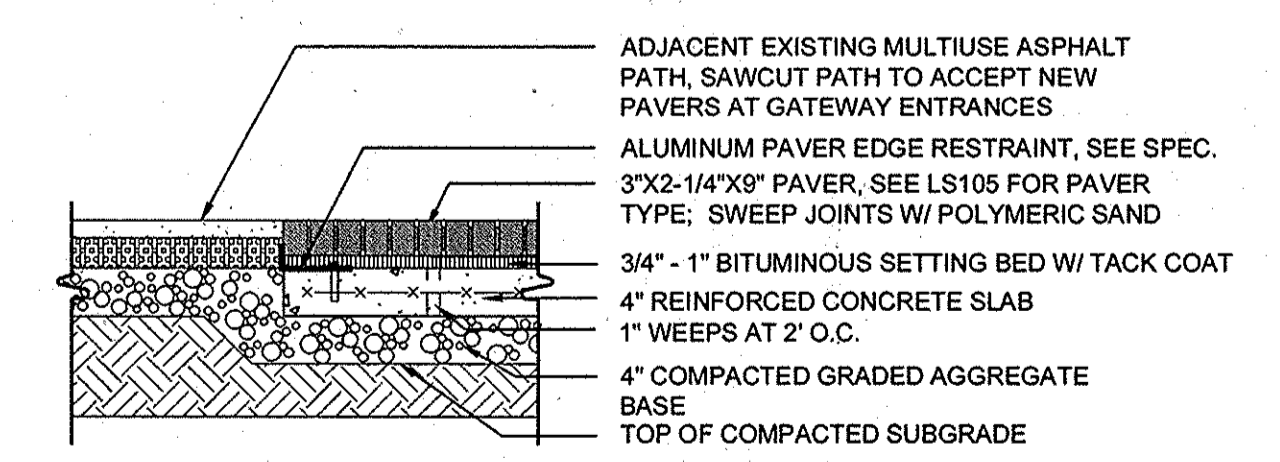
4 STONE DUST
SCALE: 1"=1'-0"



5 TYPICAL BOARDWALK SECTION WITH TYPICAL HELICAL PIER
SCALE: 3/4"=1'-0"



6 BOARDWALK AT PAVING
SCALE: 3/4"=1'-0"



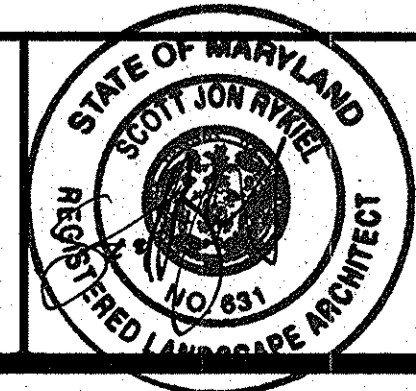
7 UNIT PAVERS ON CONCRETE PAD - AT GATEWAY ENTRANCES
SCALE: 3/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 9-2-15
 Chief, Development Engineering Division: [Signature] Date: 8-25-15

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2015
 *See Sheet 2 for Planning and Zoning Required Approvals for Phases 2-7.

MAHAN RYKIEL ASSOCIATES INC.
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

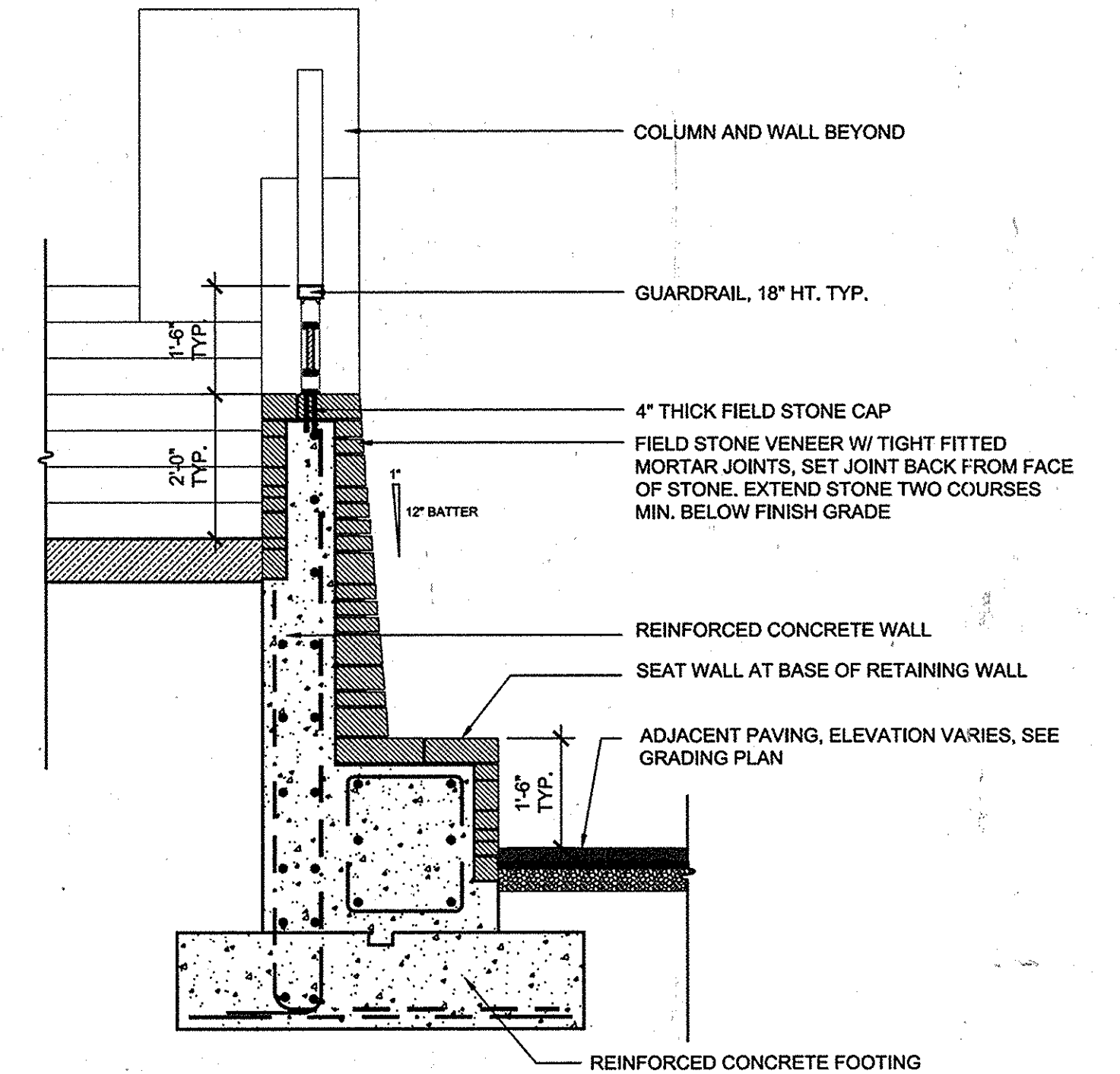
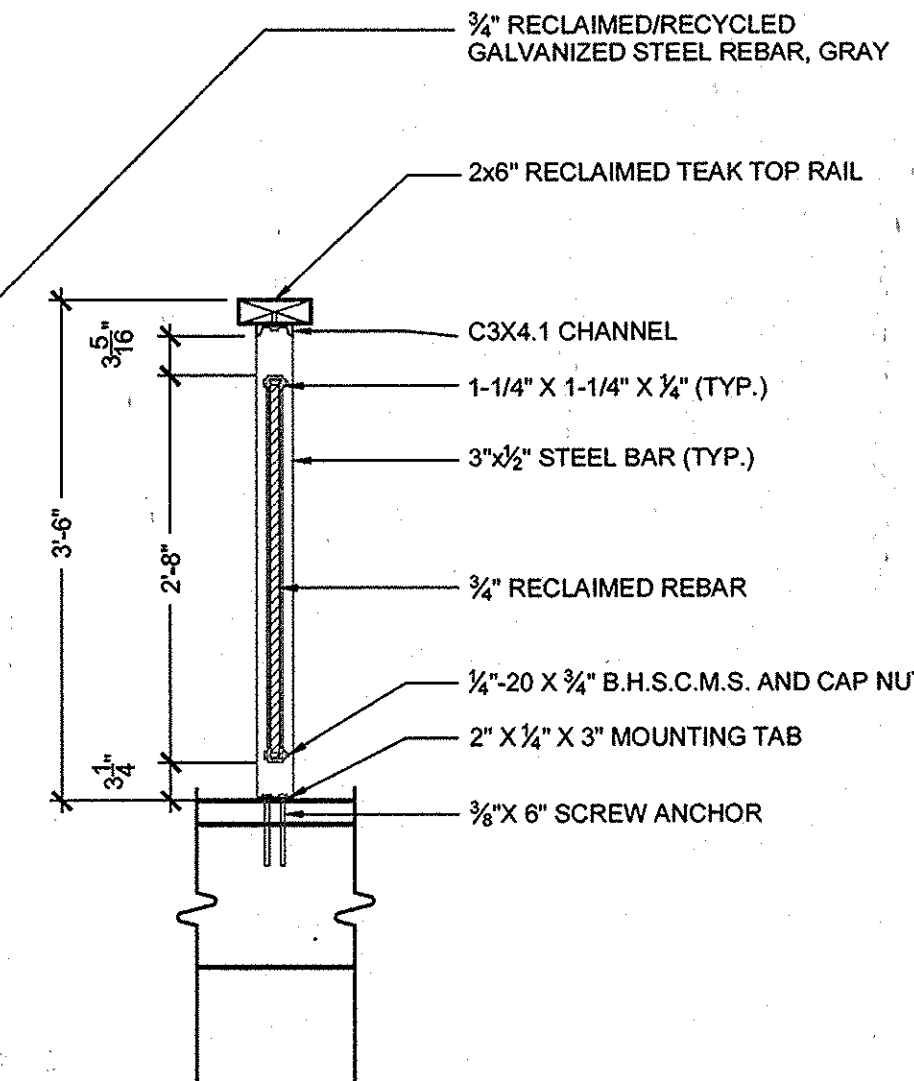
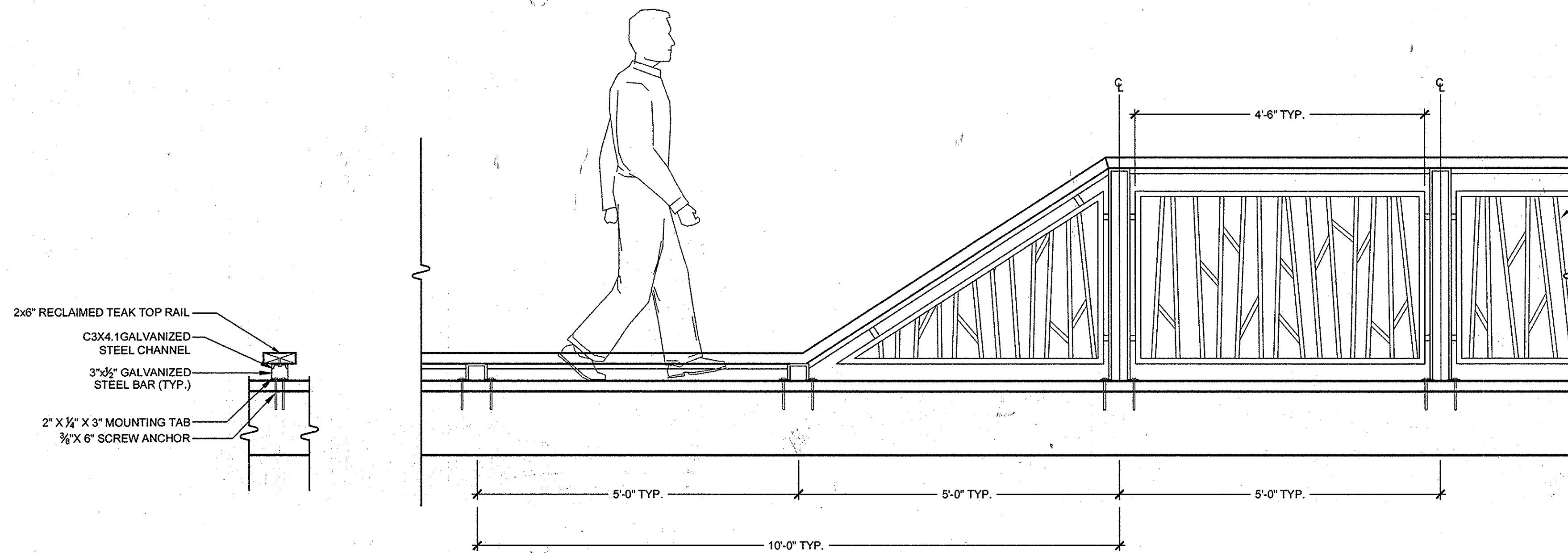
PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

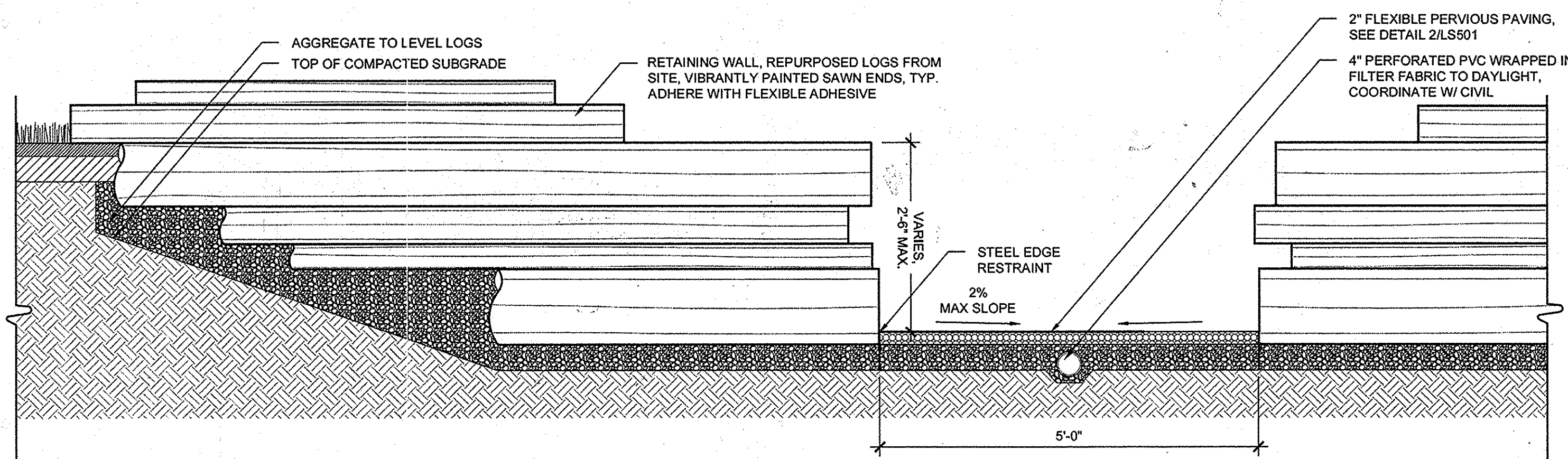
SITE HARDSCAPE DETAILS
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER- SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
 PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SITE HARDSCAPE DETAILS		LS501
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	62 OF 85

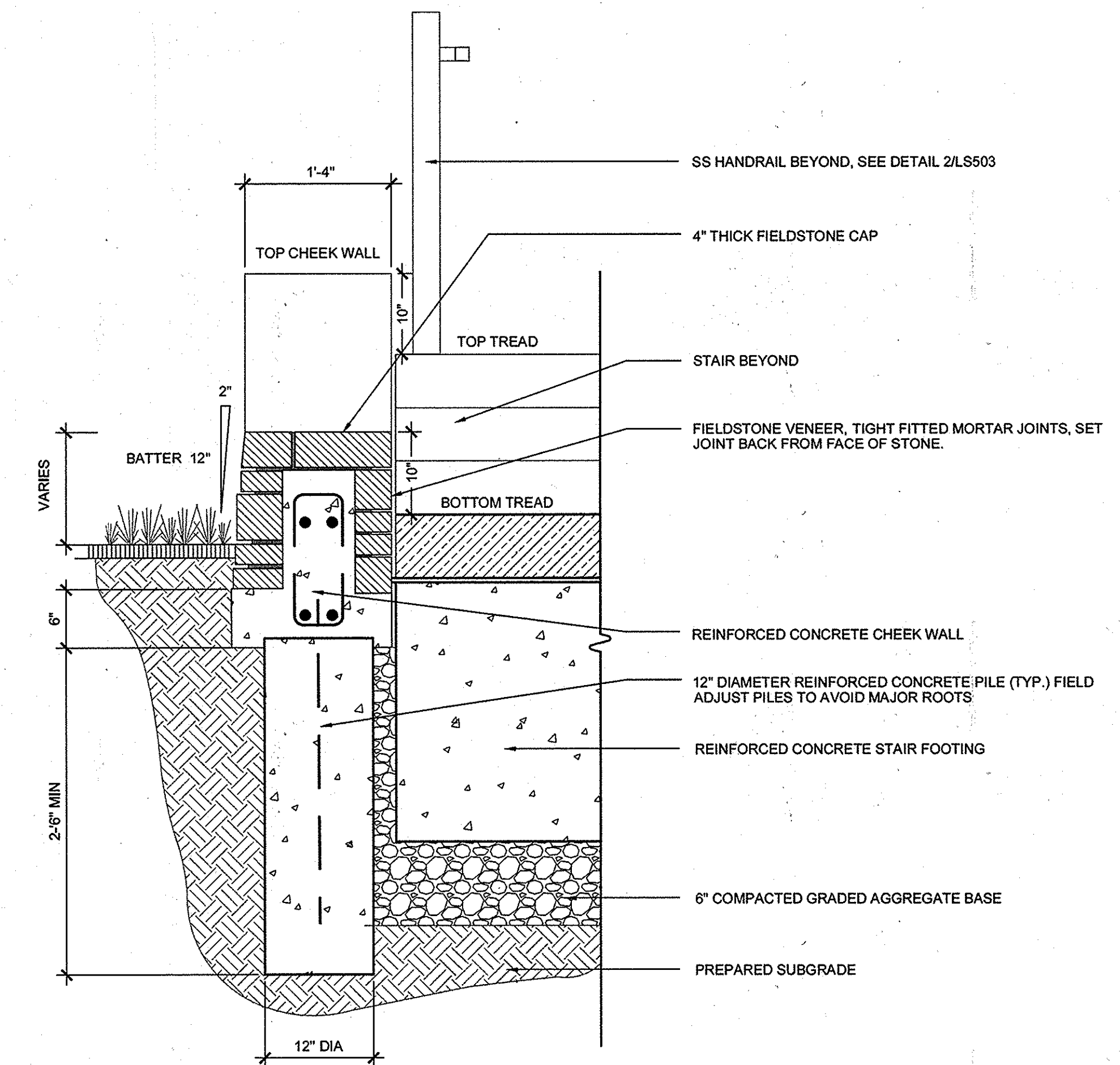


1 BOARDWALK GUARDRAIL AND CURB
SCALE: 3/4"=1'-0"

2 SITE WALL AT CENTRAL GATEWAY
SCALE: 1/2"=1'-0"



3 RE-PURPOSED LOG TUNNEL
SCALE: 3/4"=1'-0"



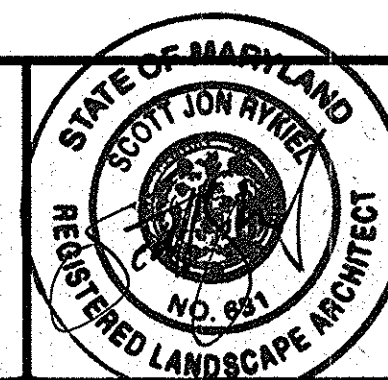
4 CHEEK WALL AT STAIR
SCALE: 1"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* Date: 9-2-15
Chief, Division of Land Development: *[Signature]* Date: 9-2-15
Chief, Development Engineering Division: *[Signature]* Date: 8-25-15

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014
*See Sheet 2 for Planning and Add'l Required Approvals for Pns 2-7

MAHAN RYKIEL
ASSOCIATES INC
The Steiff Silver Building, 800 Wyman Park Drive.,
Suite 100, Baltimore, MD 21211 410.235.6001

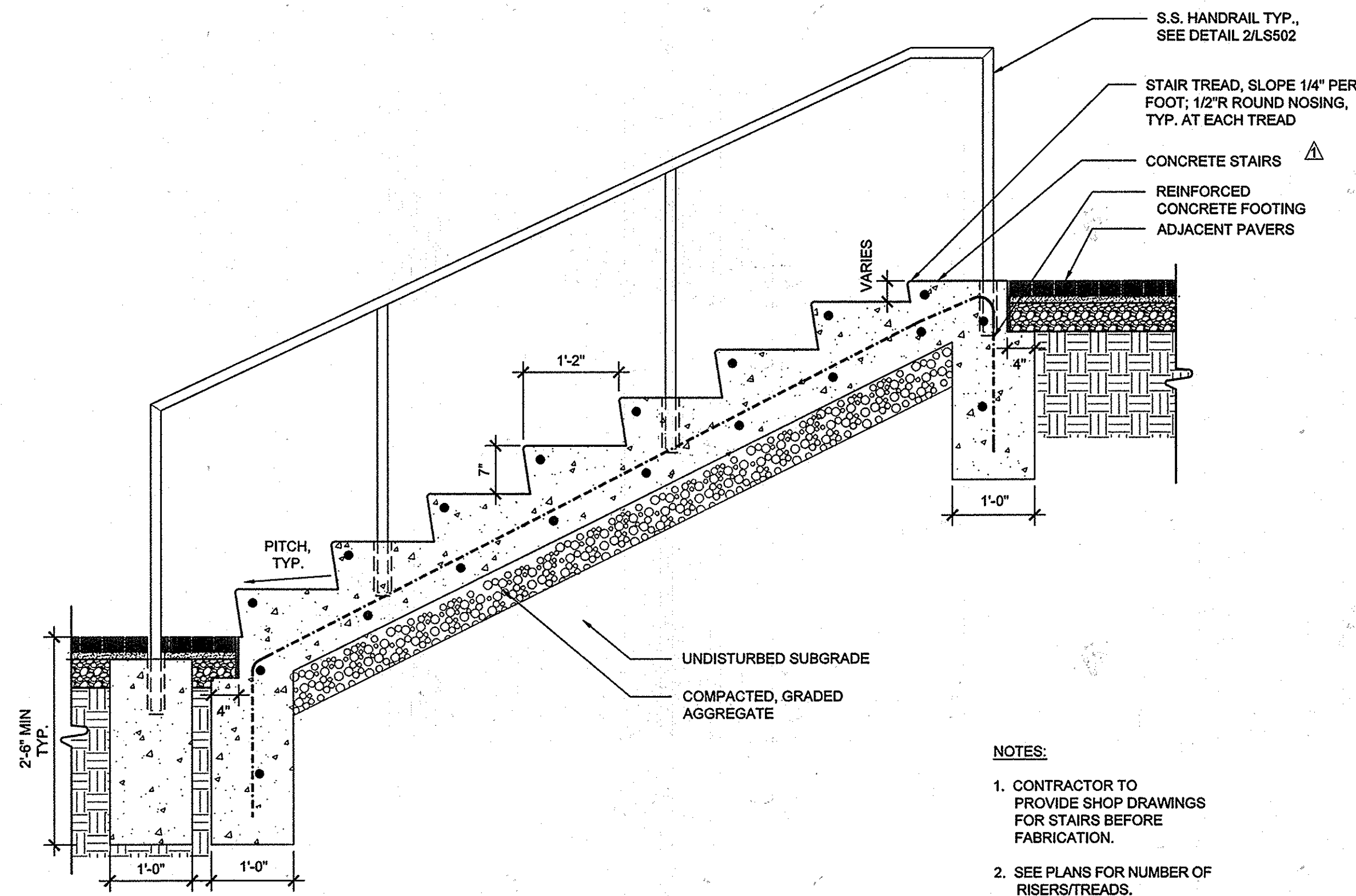
PREPARED FOR & DEVELOPER:
INNER ARBOR TRUST
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA, SUITE 315
COLUMBIA, MD 21044
ATTN: MICHAEL McCALL
410-740-0029



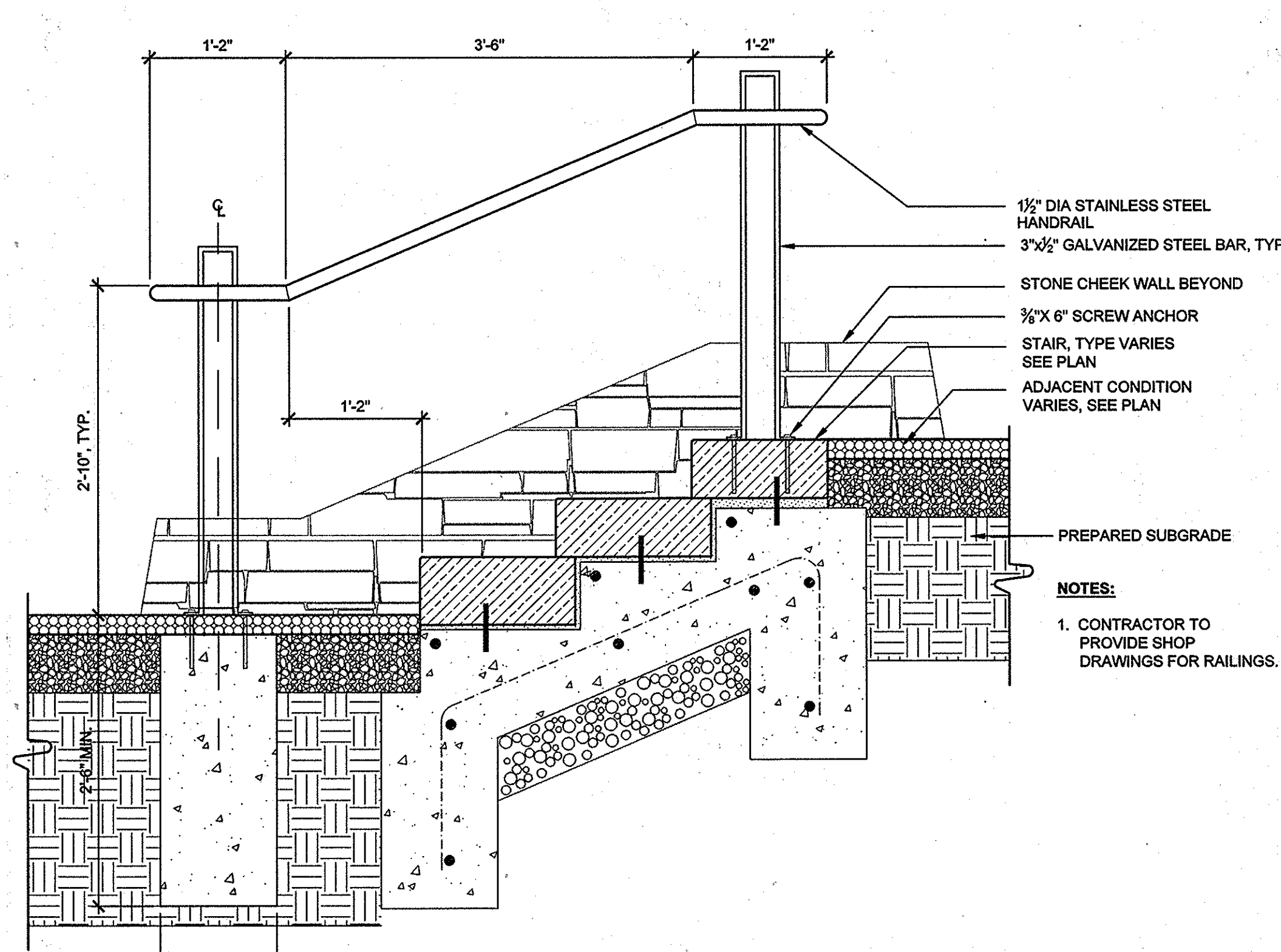
FOR INFORMATION ONLY;
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SITE HARDSCAPE DETAILS
DOWNTOWN COLUMBIA
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
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PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
GREEN COMMERCIAL BUILDING
ELECTION DISTRICT No. 5

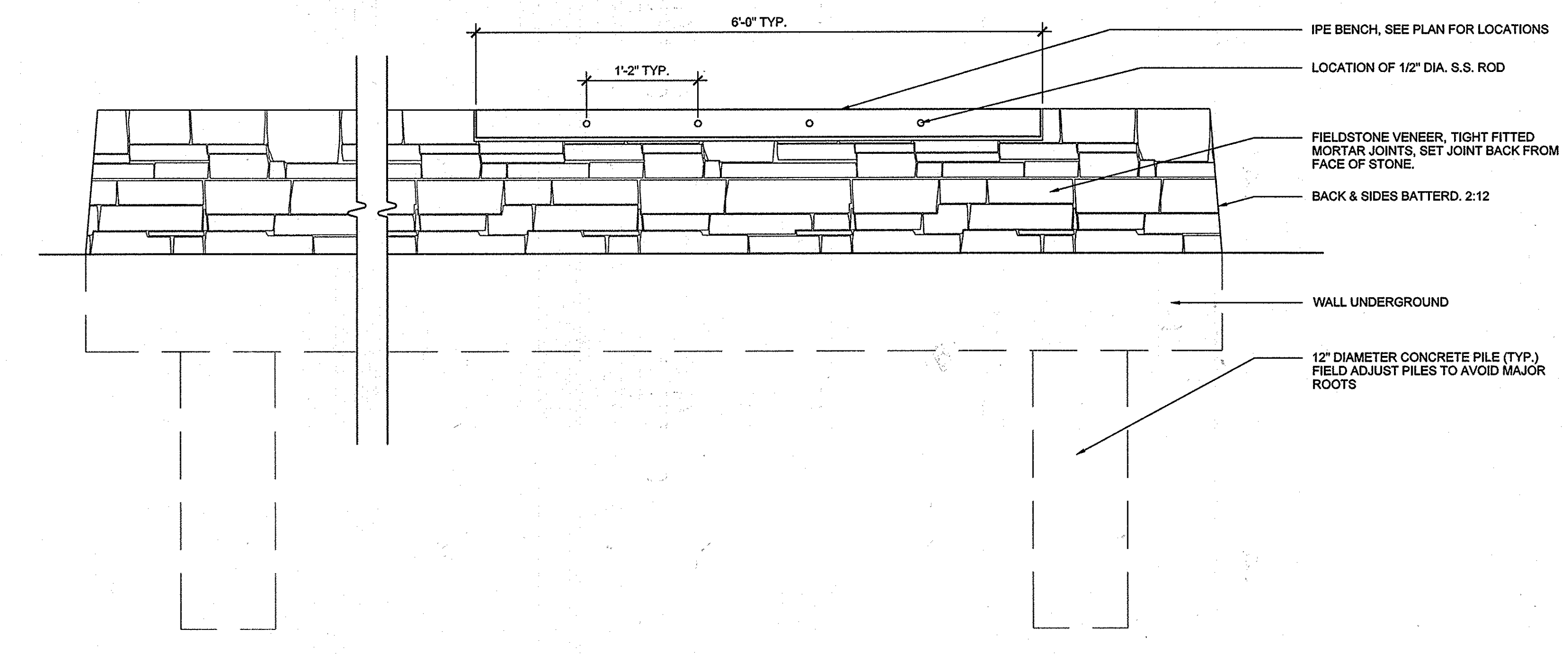
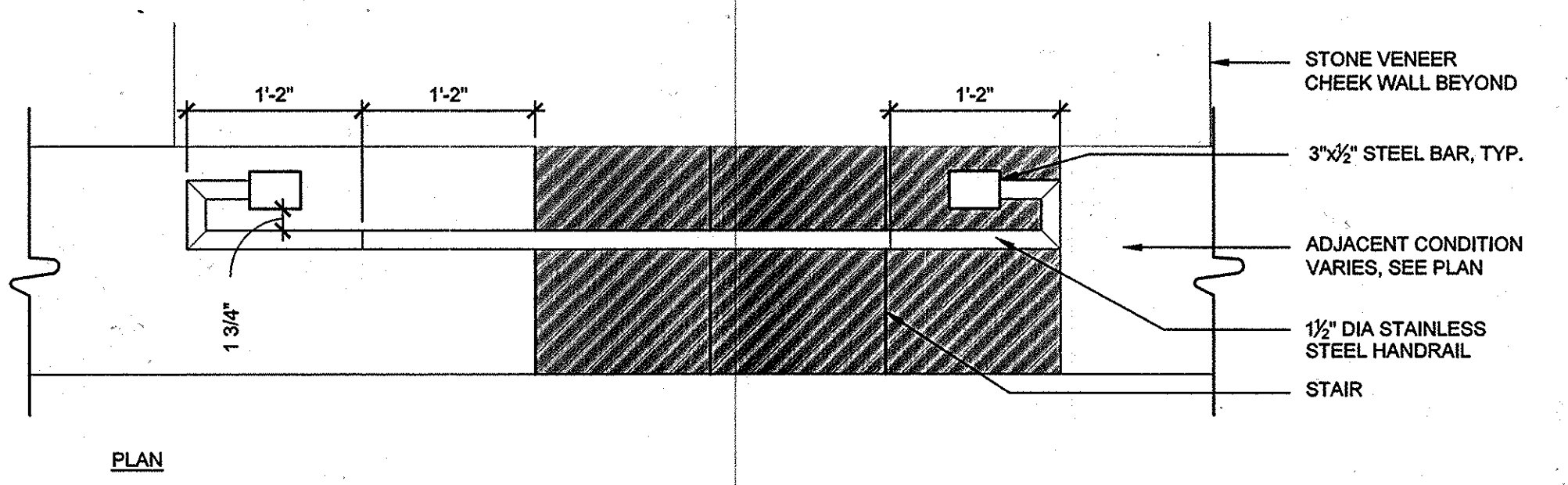
SITE HARDSCAPE DETAILS		LS502
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	63 OF 85



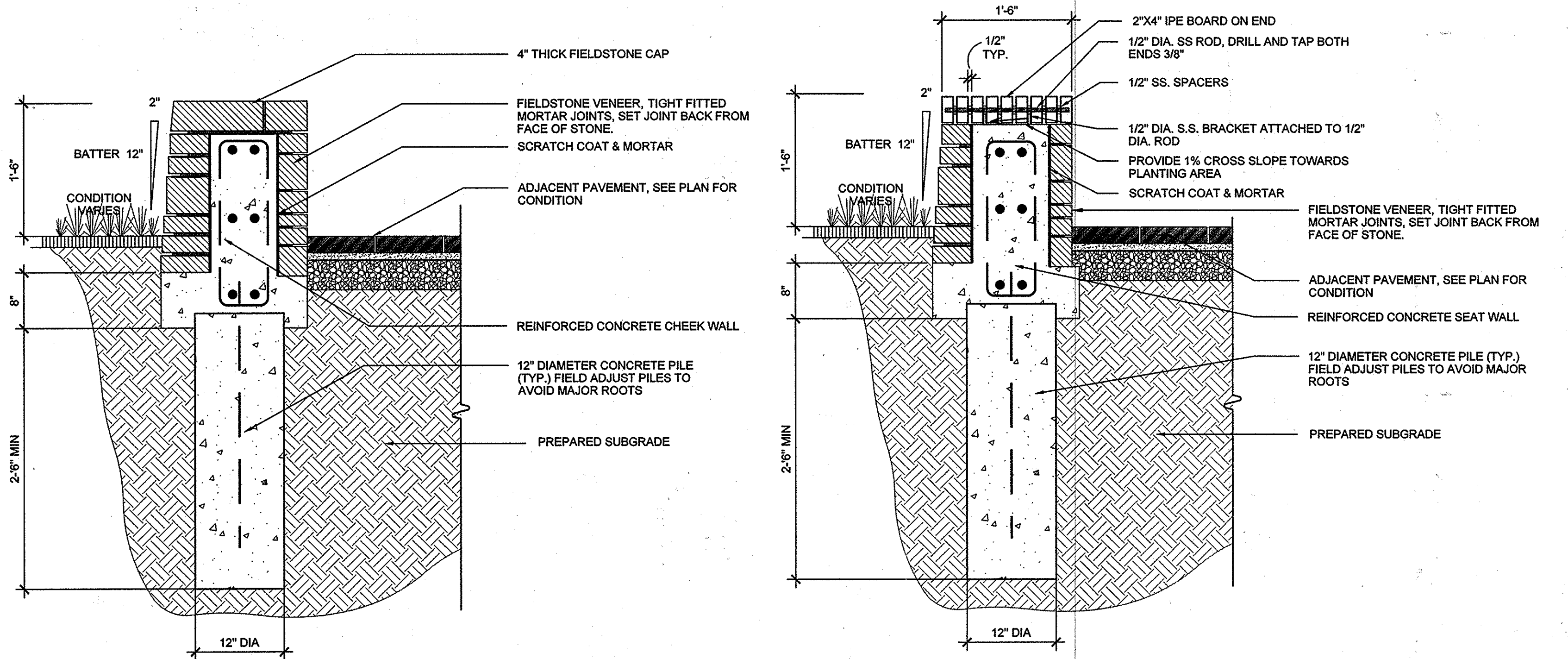
1 STAIR AT CHRYSALIS
SCALE: 3/4"=1'-0"



2 TYPICAL HANDRAIL
SCALE: 1"=1'-0"



3 BENCH 1 - FIELDSTONE SEAT WALL
SCALE: 1"=1'-0"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Valerie J. Miller 2-11-16
 Director Date
Kevin J. ... 2-11-16
 Chief, Division of Land Development Date
Chad ... 2-4-16
 Chief, Development Engineering Division Date

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 # for Phs 1 & 2. See Sheet 2 for Phasing and Add'l Rea. Approvals for Ph 3-7

MAHAN RYKIEL ASSOCIATES INC
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R.
			1/8/16	REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

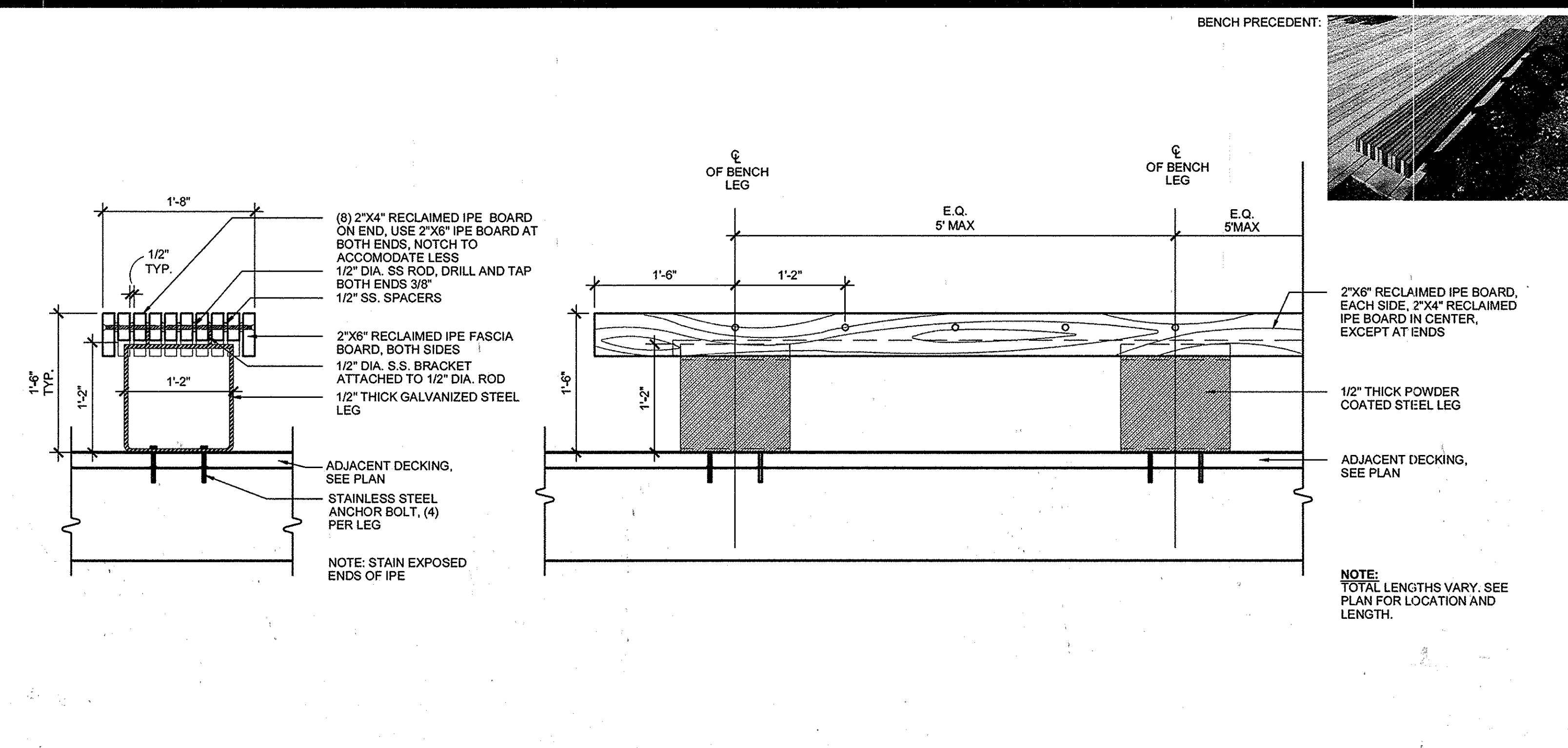
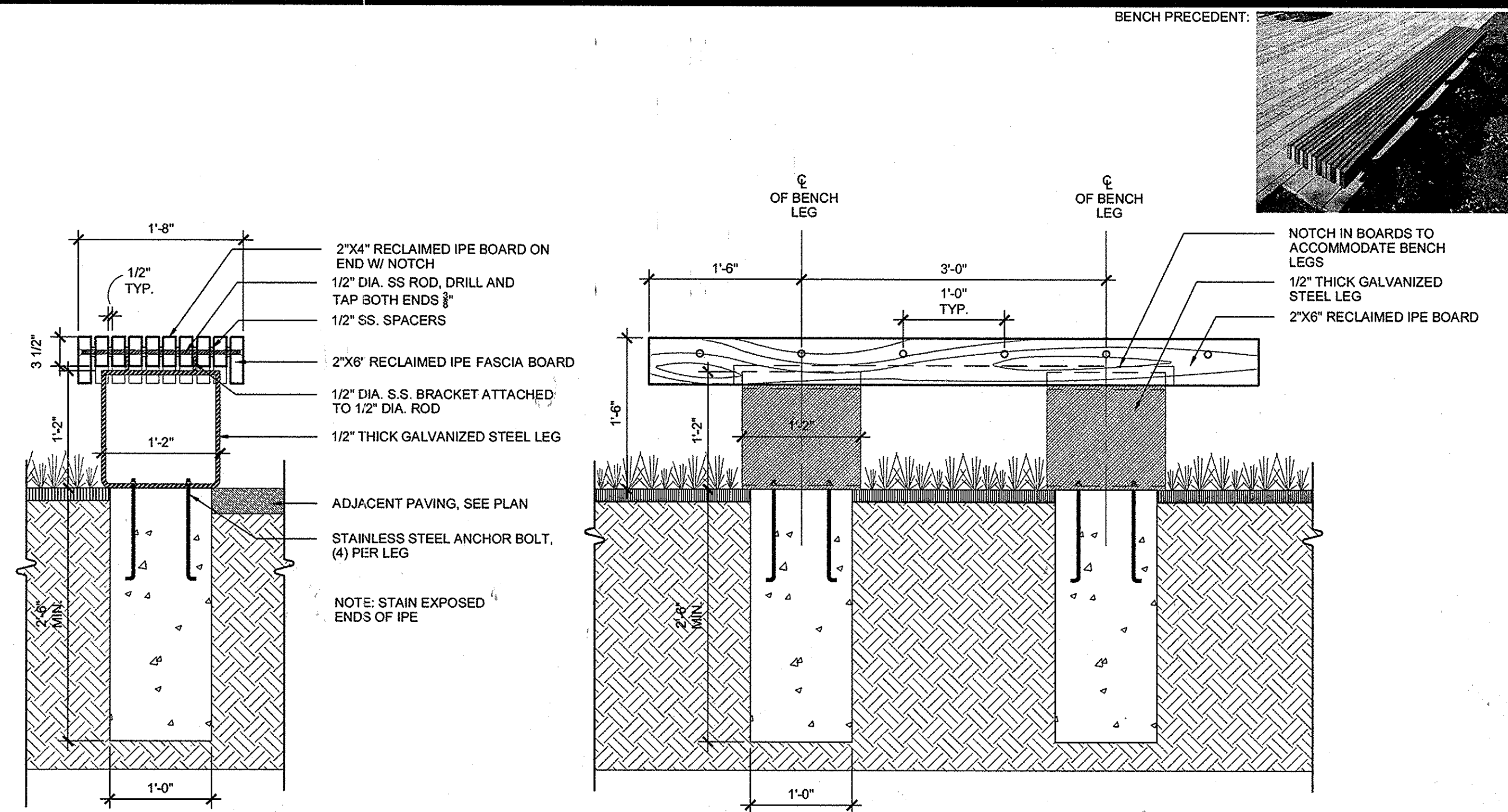
PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029



FOR INFORMATION ONLY:
 NOT FOR CONSTRUCTION

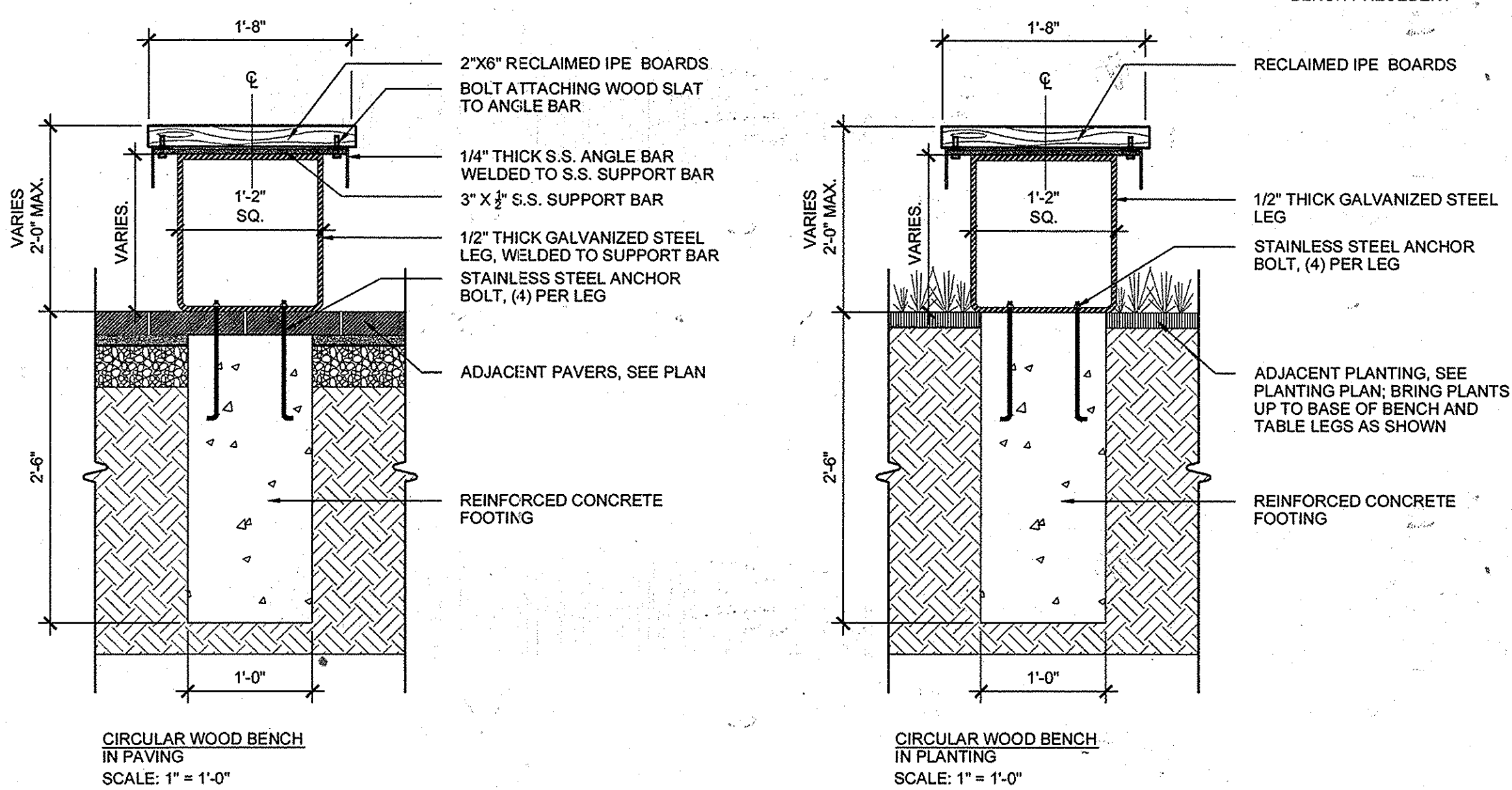
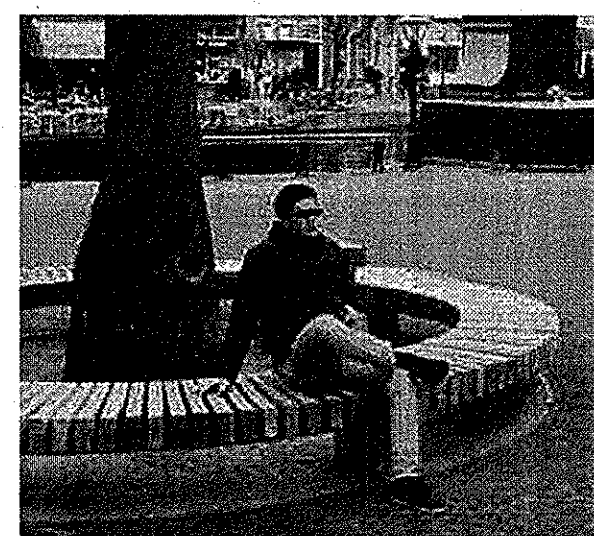
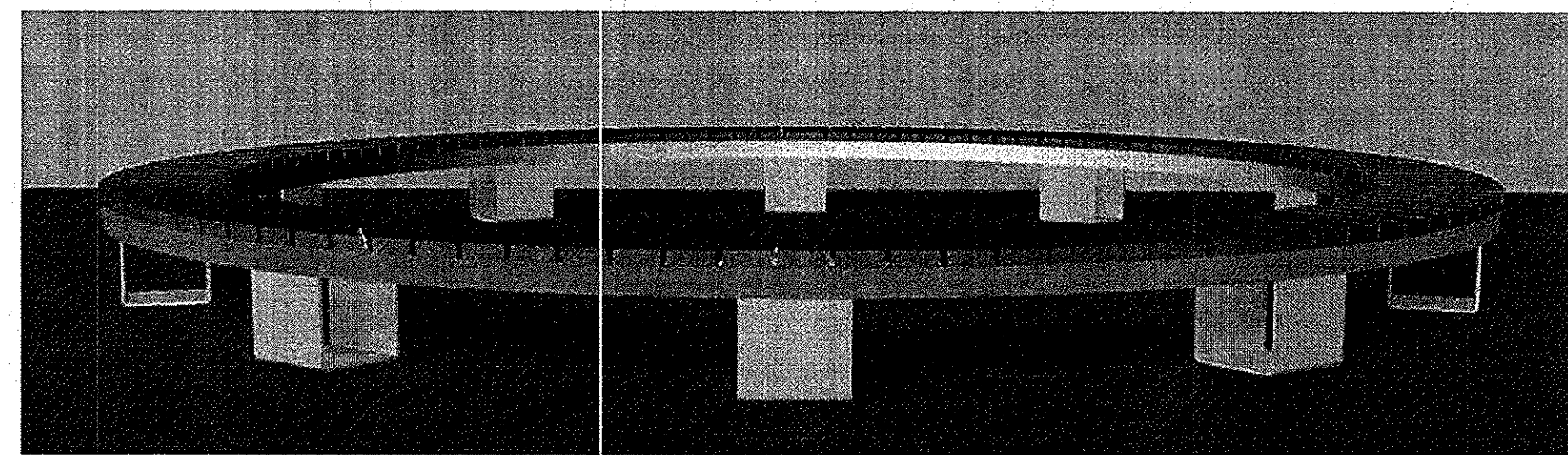
REVISED SITE HARDSCAPE DETAILS
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER-SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

REVISED SITE HARDSCAPE DETAILS		LS503
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	64 OF 85

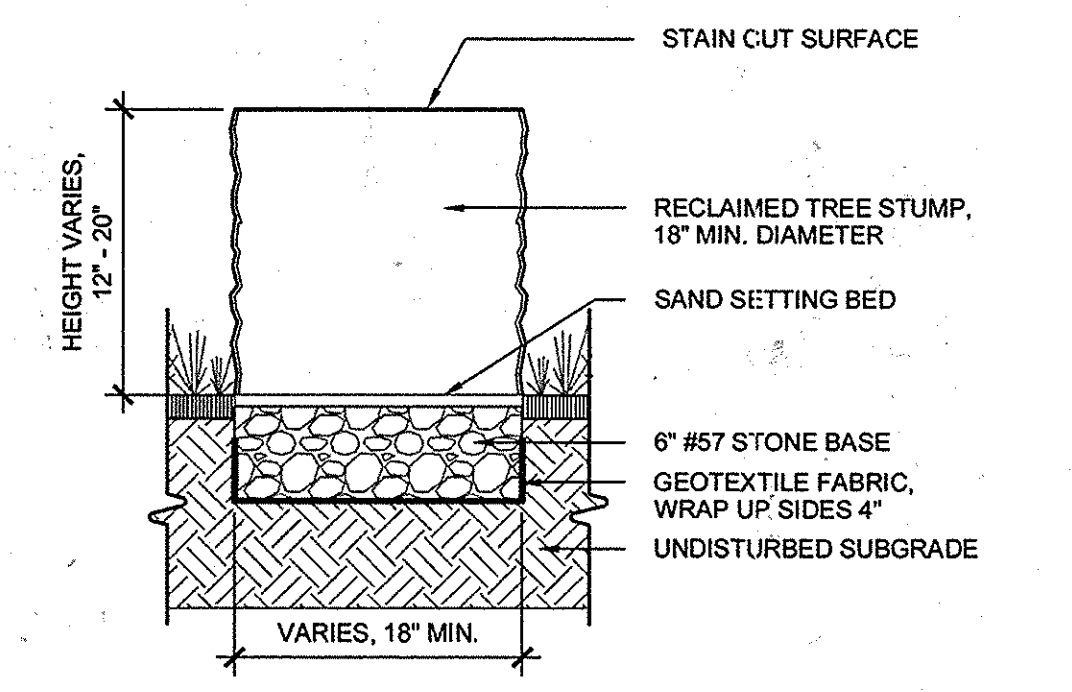


1 BENCH 2A - 6' CUSTOM WOOD AND METAL BENCHES
1"=1'-0"

2 BENCH 2B - LONG CUSTOM WOOD AND METAL BENCHES
1"=1'-0"



3 BENCH 3 - CIRCULAR WOOD BENCH
AS SHOWN



4 BENCH 5 - STUMP SEATING
1"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *William J. ...* Date: 9-2-15
 Chief, Division of Land Development: *...* Date: 8-25-15
 Chief, Development Engineering Division: *...* Date: *...*

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 * See Sec. 2 for Pricing and Bid
 Required Approvals for Phases 2-7

GENERAL NOTE:
 ALL FURNISHINGS, WITH THE EXCEPTION OF BENCH 6 (CHAISE LOUNGE CHAIR; 3/LS505), ARE CUSTOM DESIGNED. IMAGES PROVIDED ARE FOR PRECEDENT REFERENCE ONLY AND ARE NOT IMAGES OF ACTUAL FURNISHINGS INTENDED FOR THE PROJECT.

MAHAN RYKIEL ASSOCIATES INC.
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

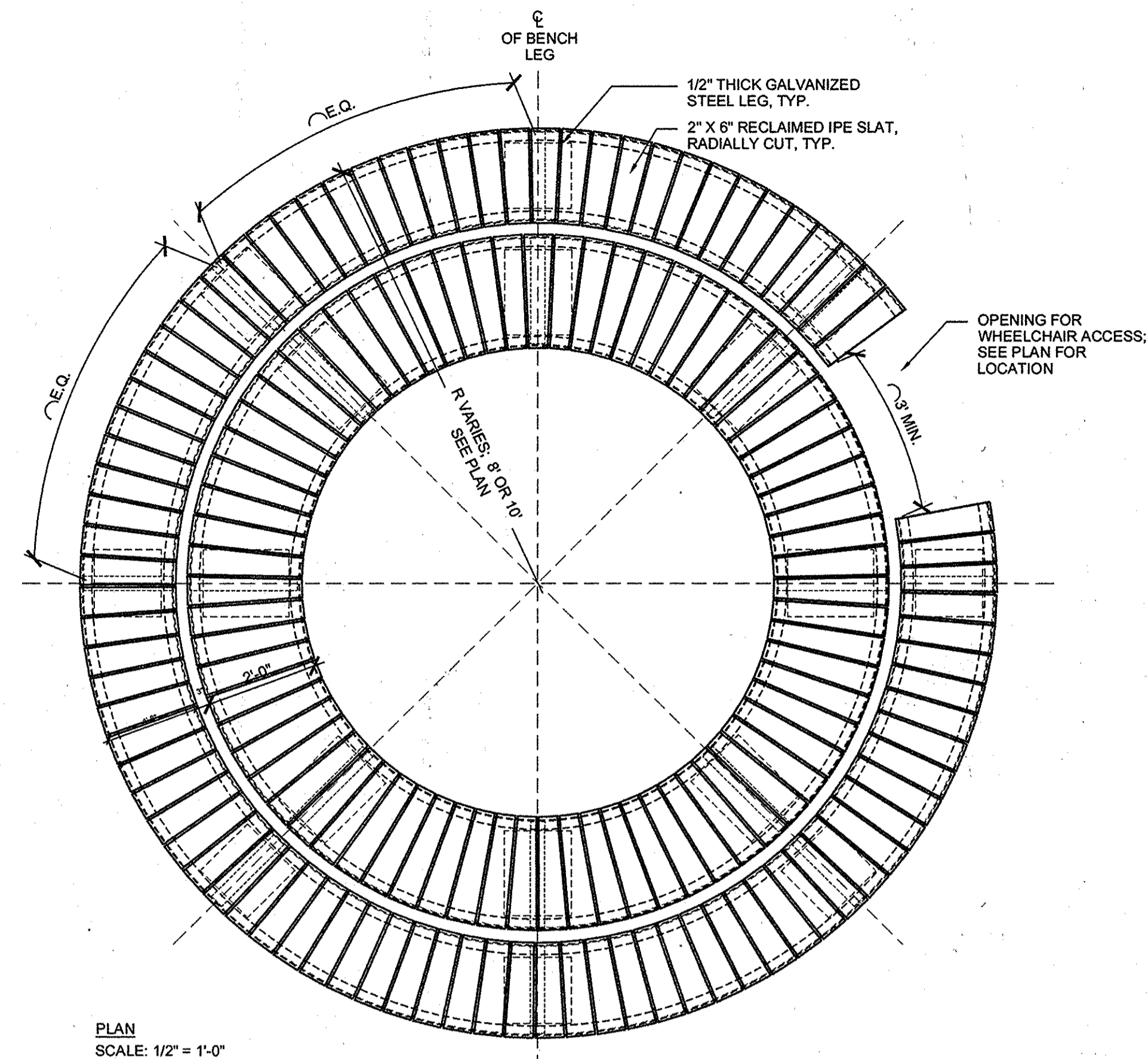
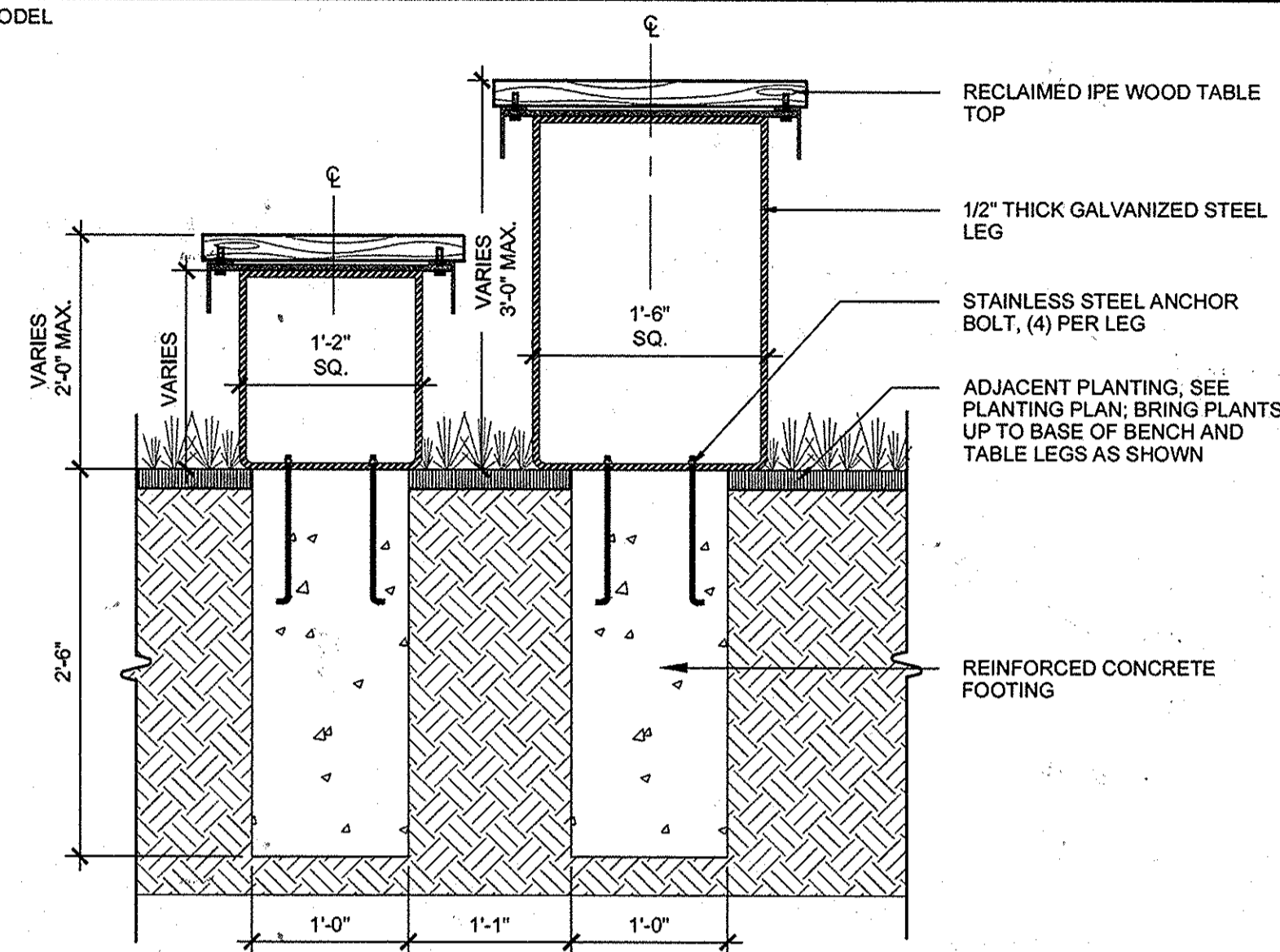
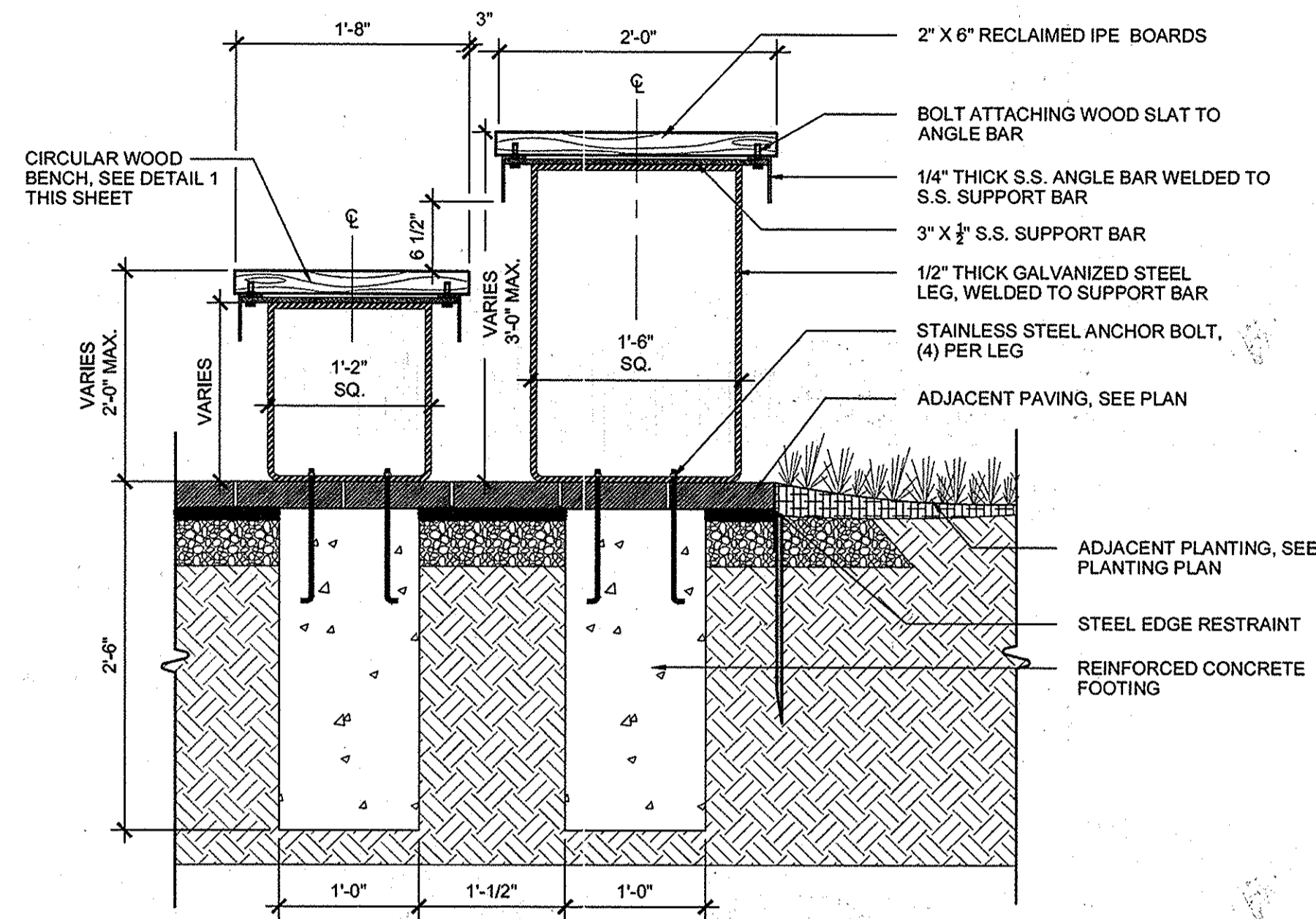
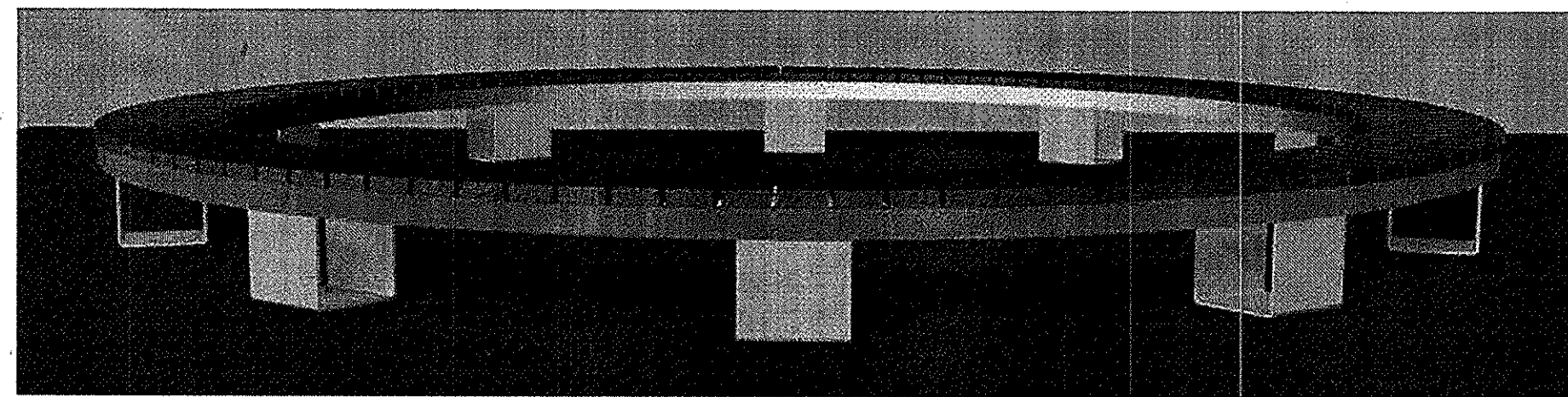
PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
 COLUMBIA, MD 21044
 ATTN: MICHAEL McCALL
 410-740-0029



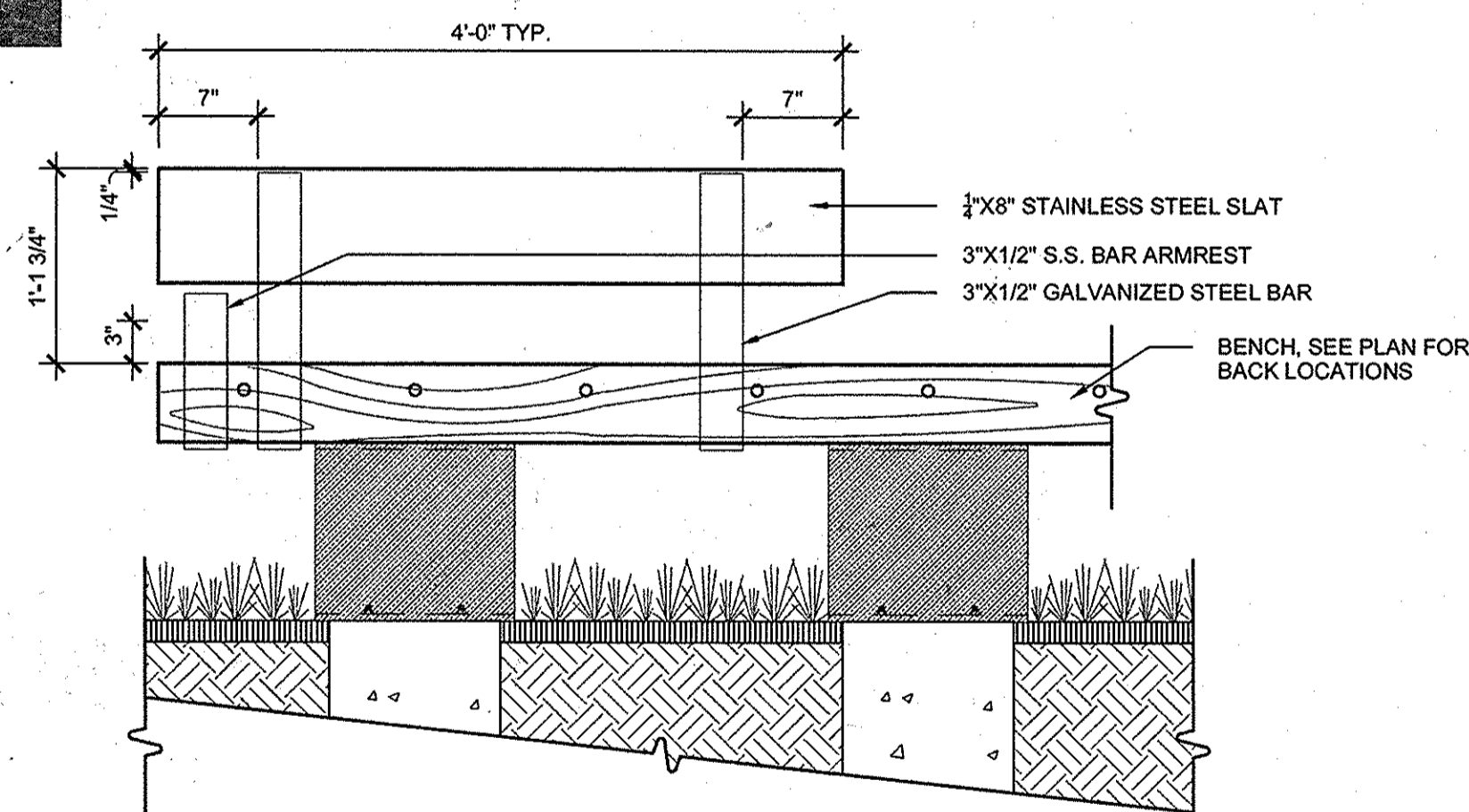
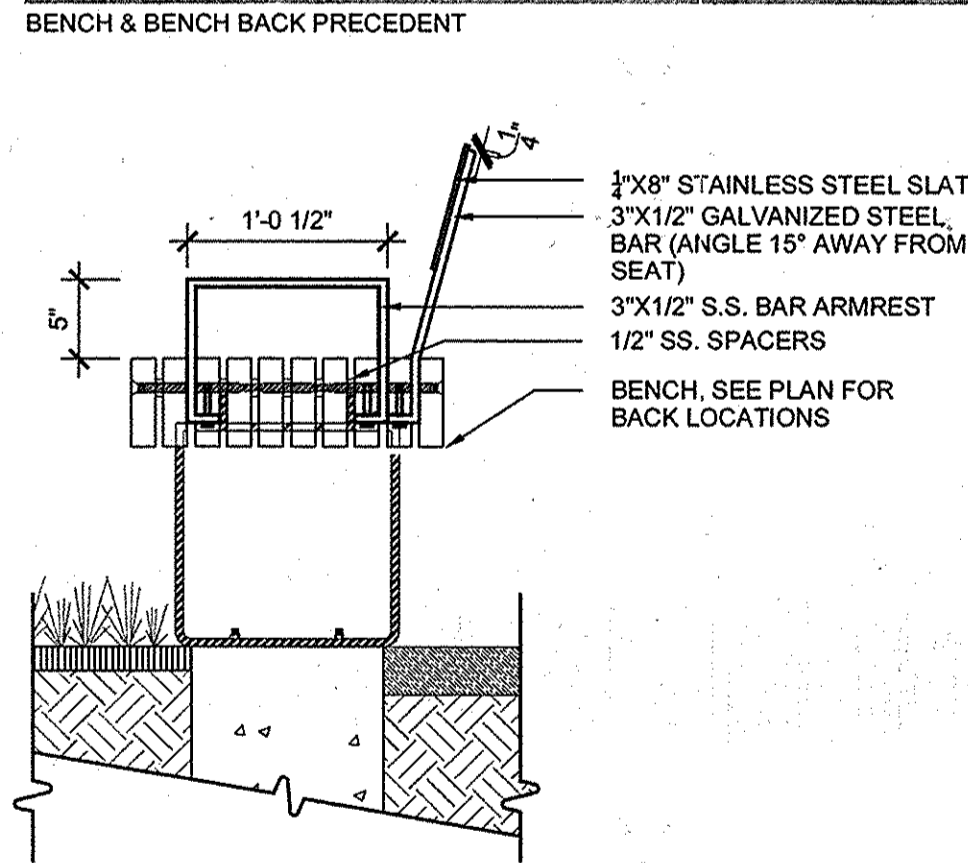
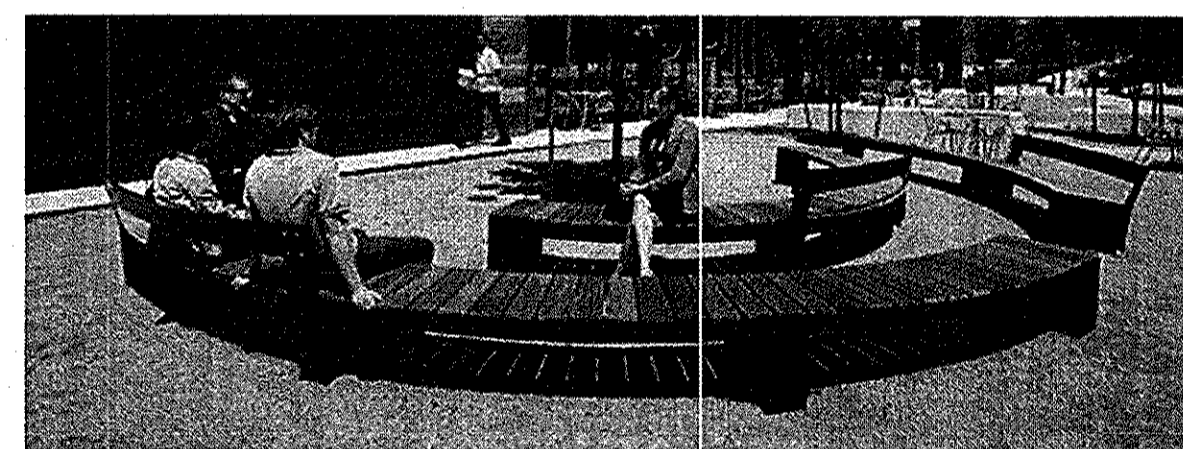
FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

SITE HARDSCAPE DETAILS
DOWNTOWN COLUMBIA
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
 TOWN CENTER- SECTION 1 AREA 1
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
 GREEN COMMERCIAL BUILDING
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

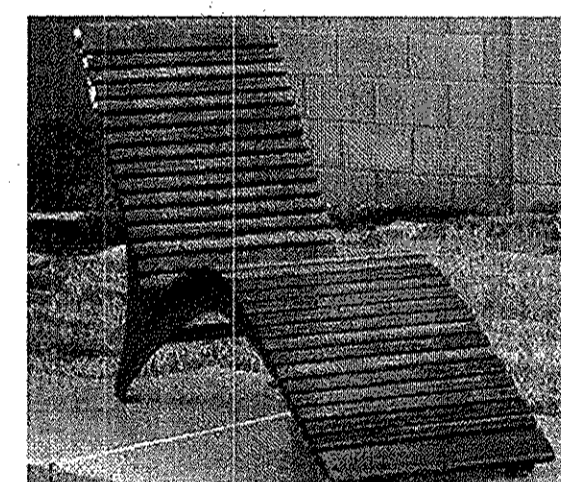
SITE HARDSCAPE DETAILS		LS504
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	65 OF 85



1 BENCH 4 - CIRCULAR WOOD BENCH AND TABLE
AS SHOWN

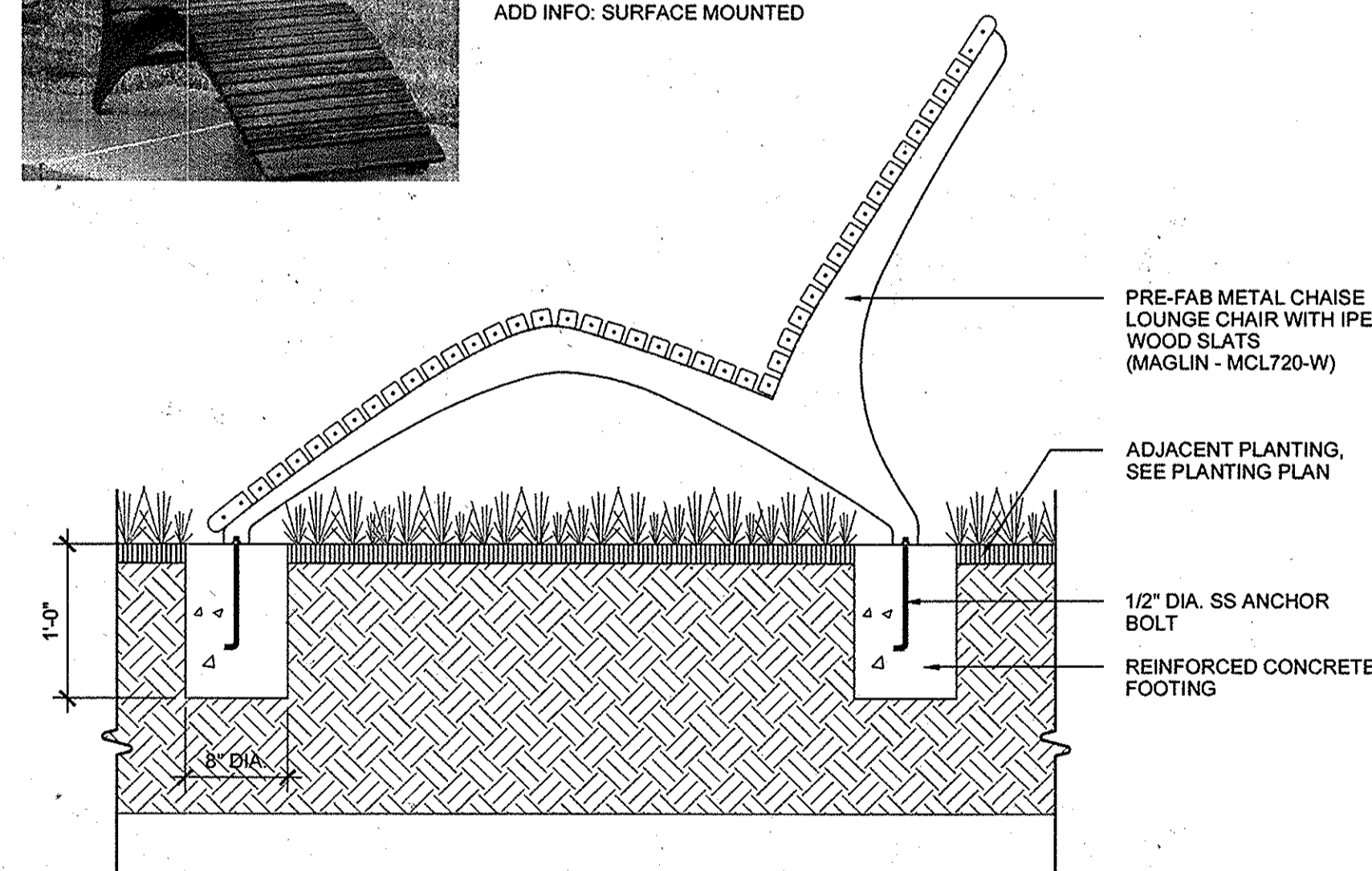


NOTES:
1. REFER TO PLANS FOR BACK AND ARM REST LOCATIONS.

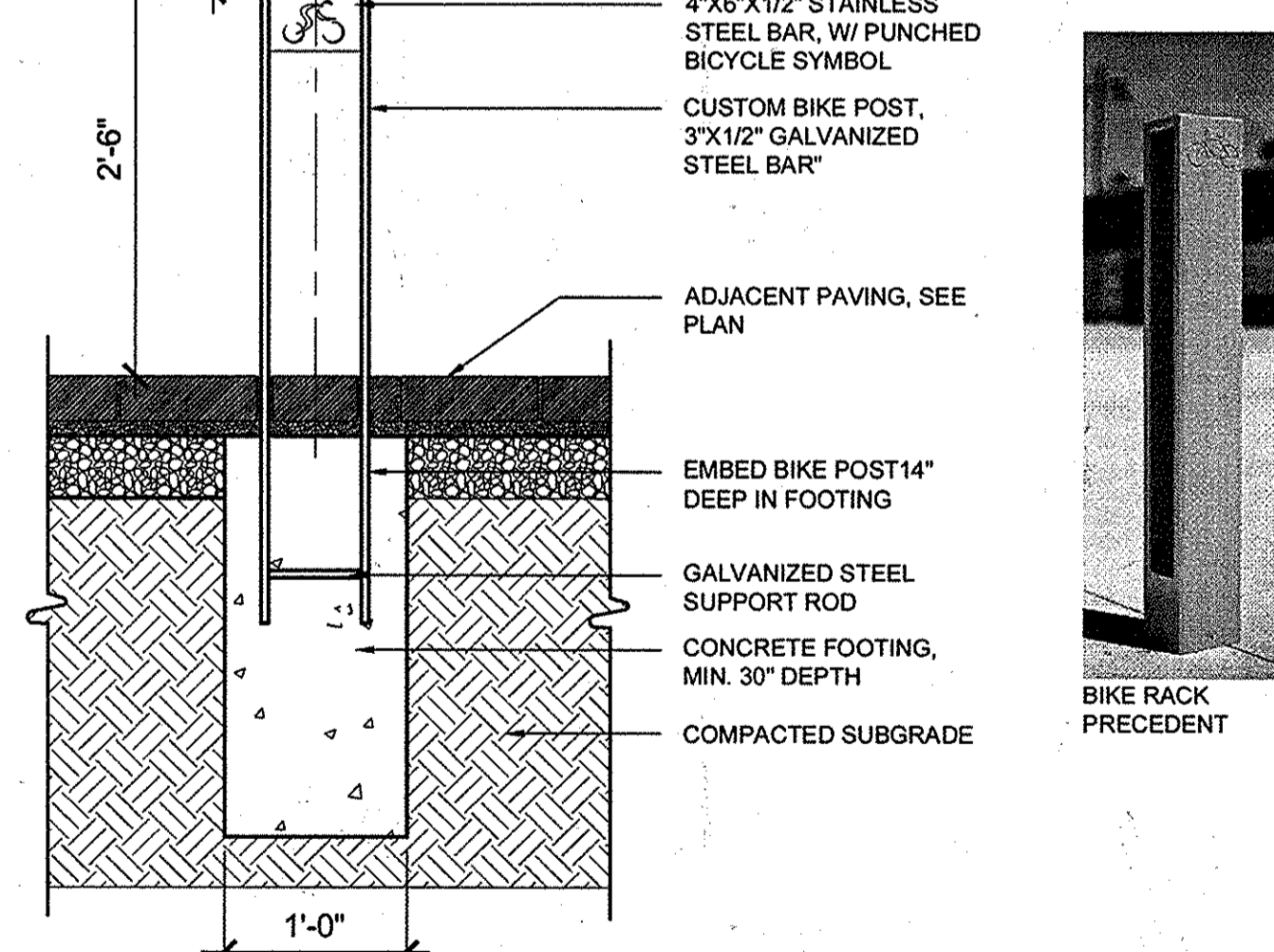
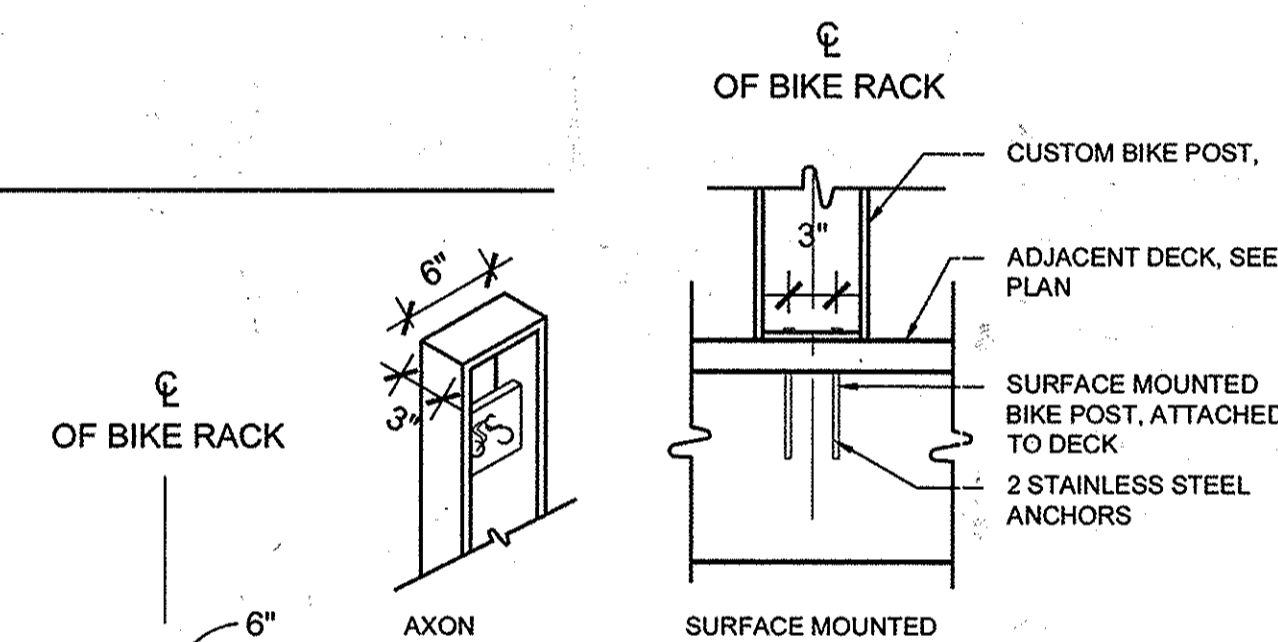


MAGLIN SITE FURNITURE
27 BYSHAM PARK DRIVE
WOODSTOCK, ON
P: 800 716 5506
W: WWW.MAGLIN.COM

MODEL: MCL720 - W
MATERIALS: STEEL FRAME, IPE SLATS
ADD INFO: SURFACE MOUNTED



3 BENCH 6 - PRE-FRABRICATED LANDSCAPE SEATING
1"=1'-0"



4 BIKE RACK
1"=1'-0"

2 BENCH BACKS AND ARM REST, TYP.
1"=1'-0"

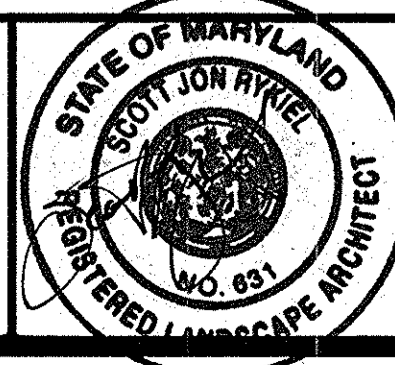
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Walter J. ...
Director
Date: 9-2-15

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014
*See Sheet 2 for Planning & Add'l Required Approvals for Phases 2-7

GENERAL NOTE:
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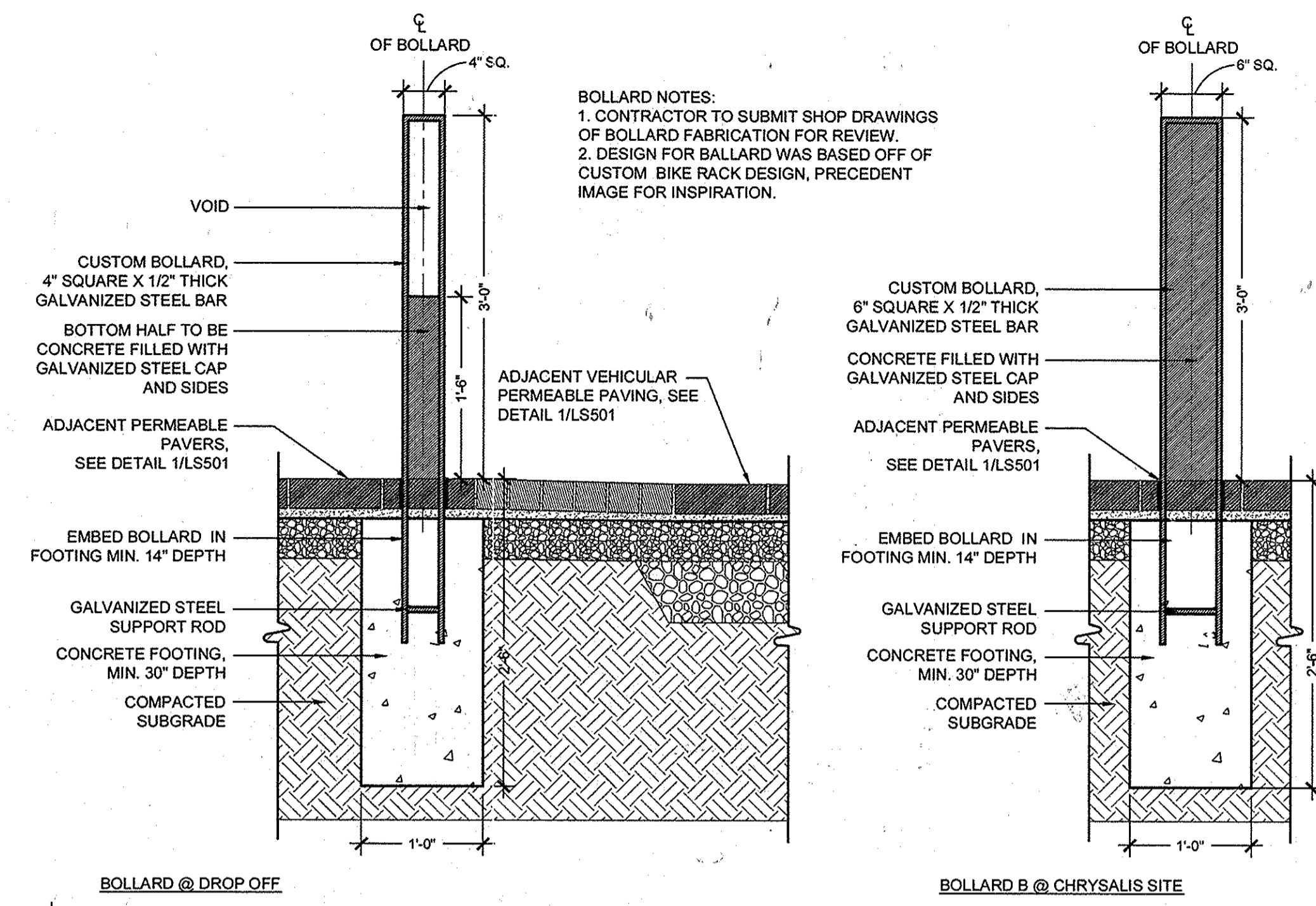
PREPARED FOR & DEVELOPER:
INNER ARBOR TRUST
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA, SUITE 315
COLUMBIA, MD 21044
ATTN: MICHAEL McCALL
410-740-0029



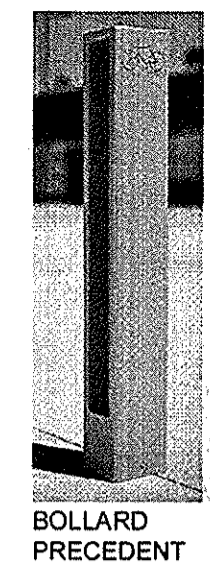
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SITE HARDSCAPE DETAILS
DOWNTOWN COLUMBIA
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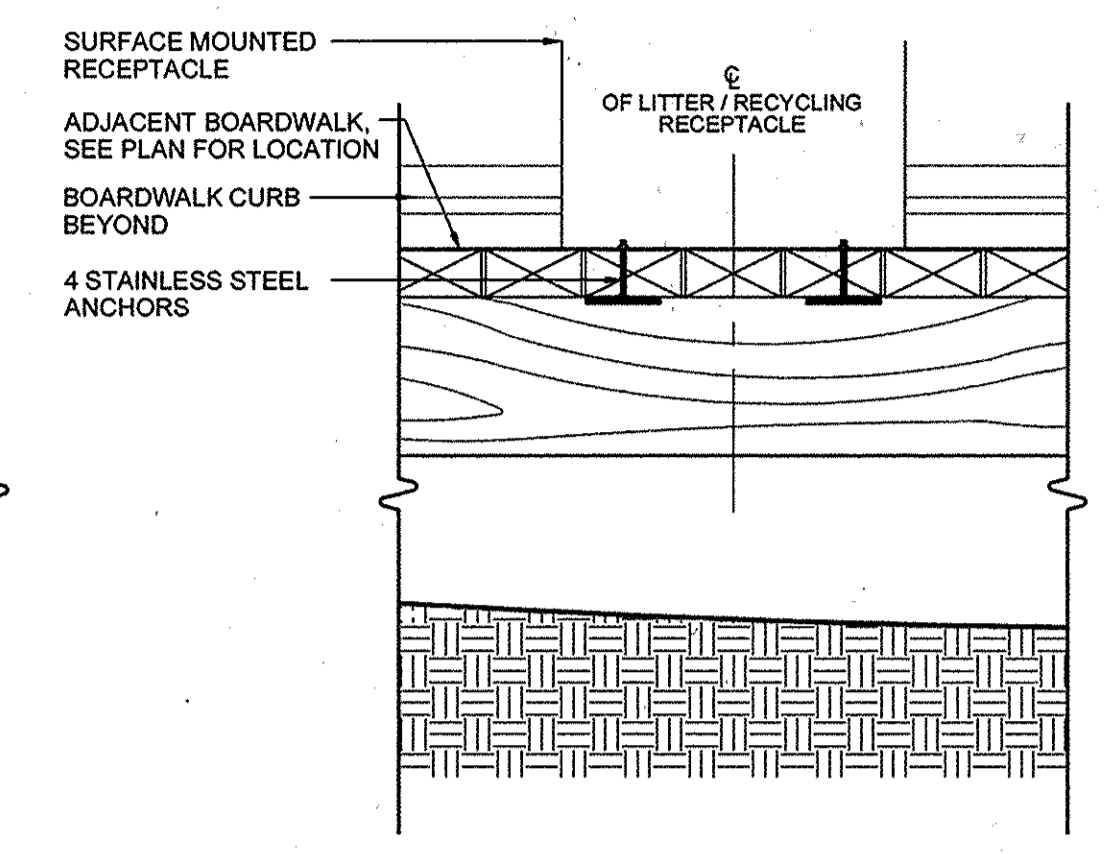
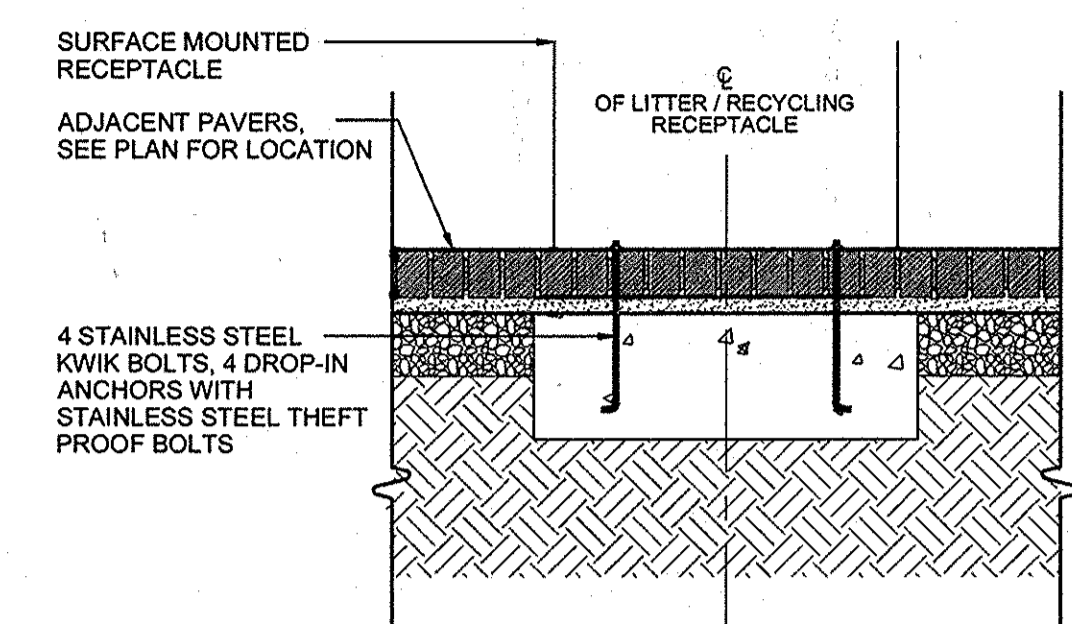
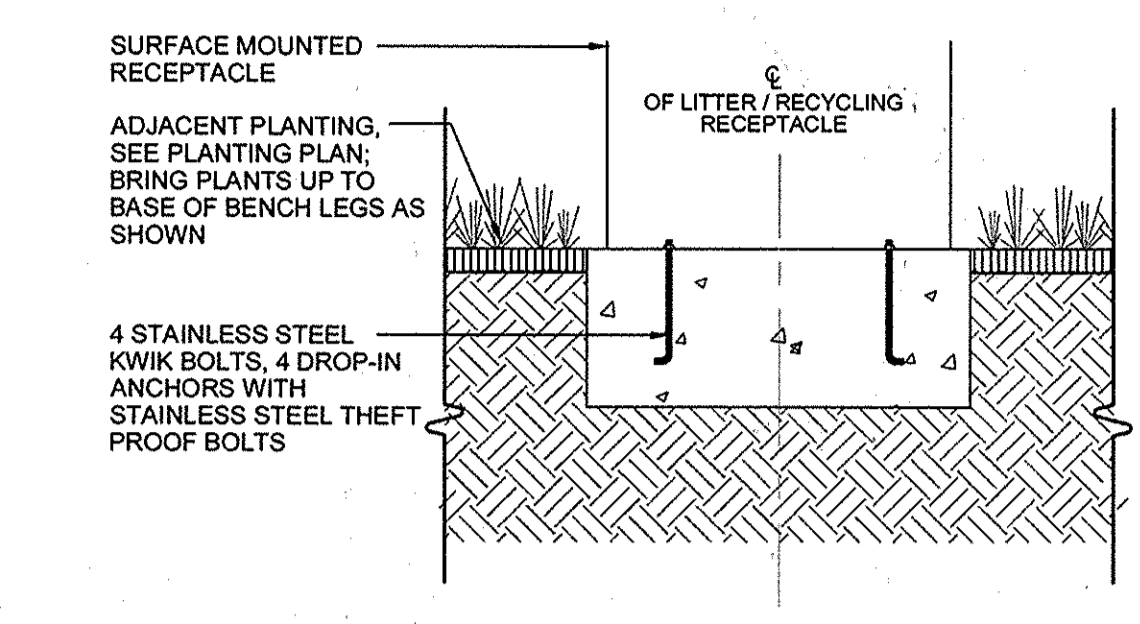
SITE HARDSCAPE DETAILS		LS505
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	66 OF 85



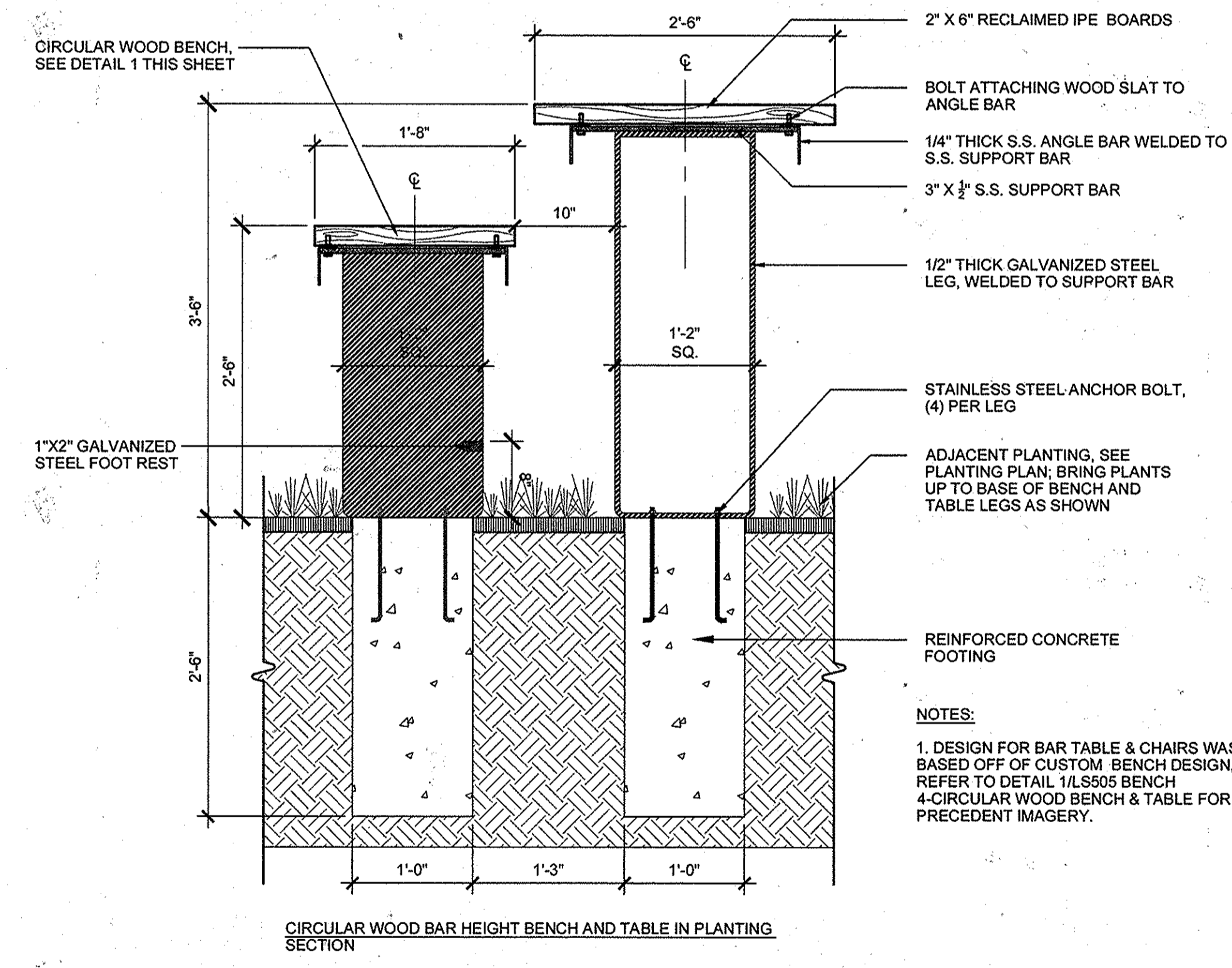
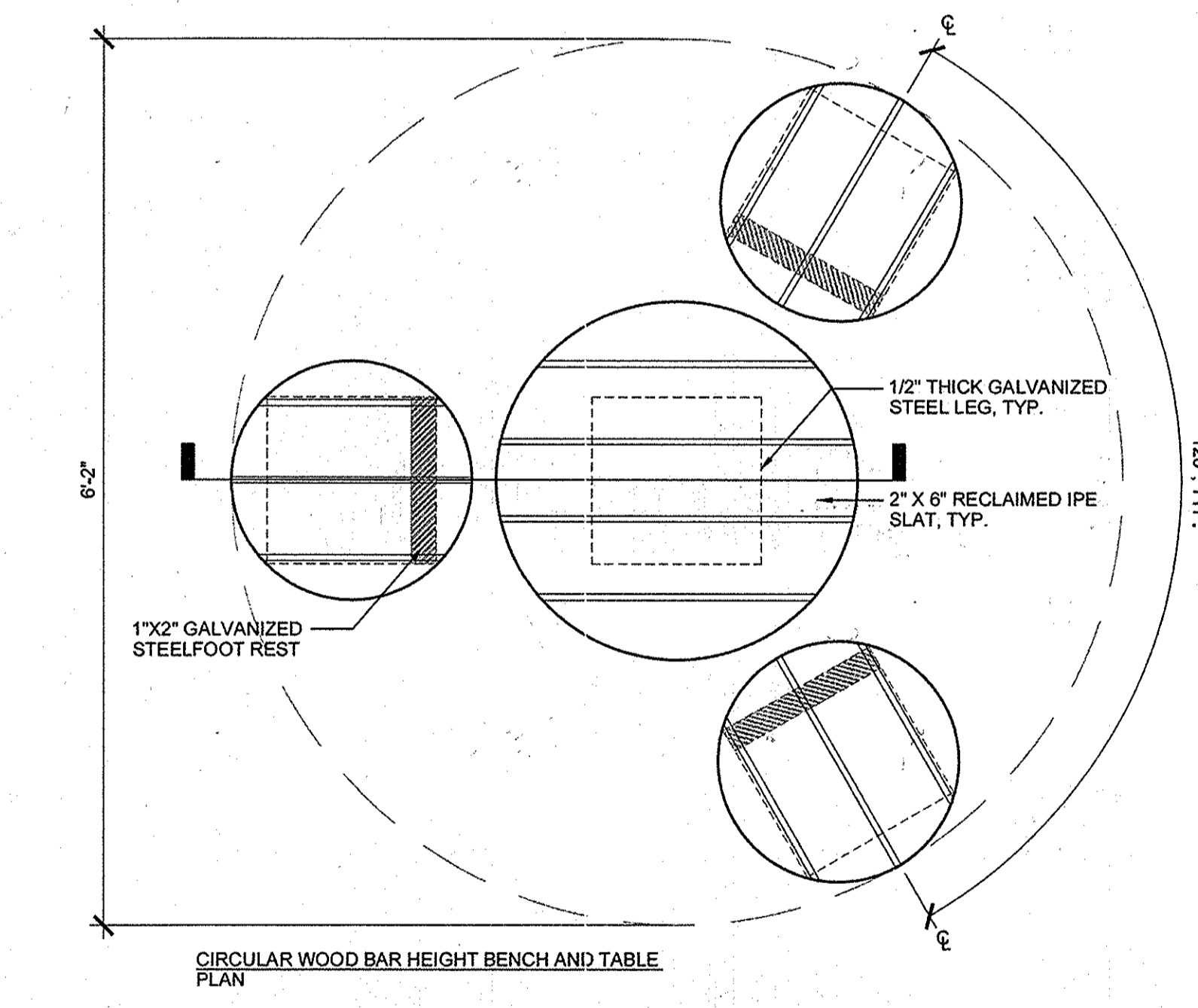
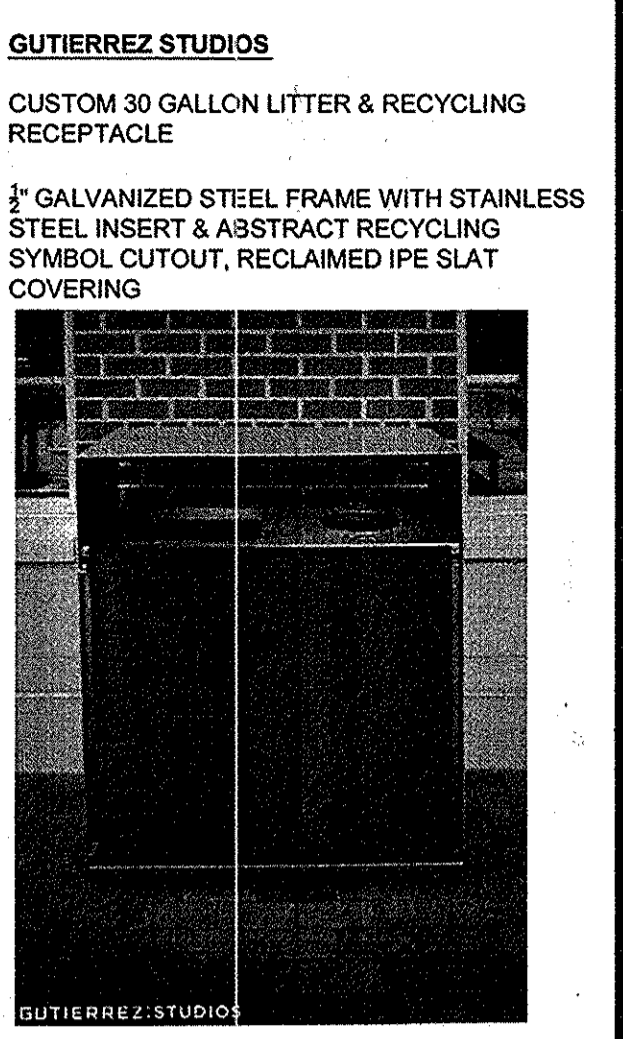
BOLLARD NOTES:
 1. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF BOLLARD FABRICATION FOR REVIEW.
 2. DESIGN FOR BOLLARD WAS BASED OFF OF CUSTOM BIKE RACK DESIGN, PRECEDENT IMAGE FOR INSPIRATION.



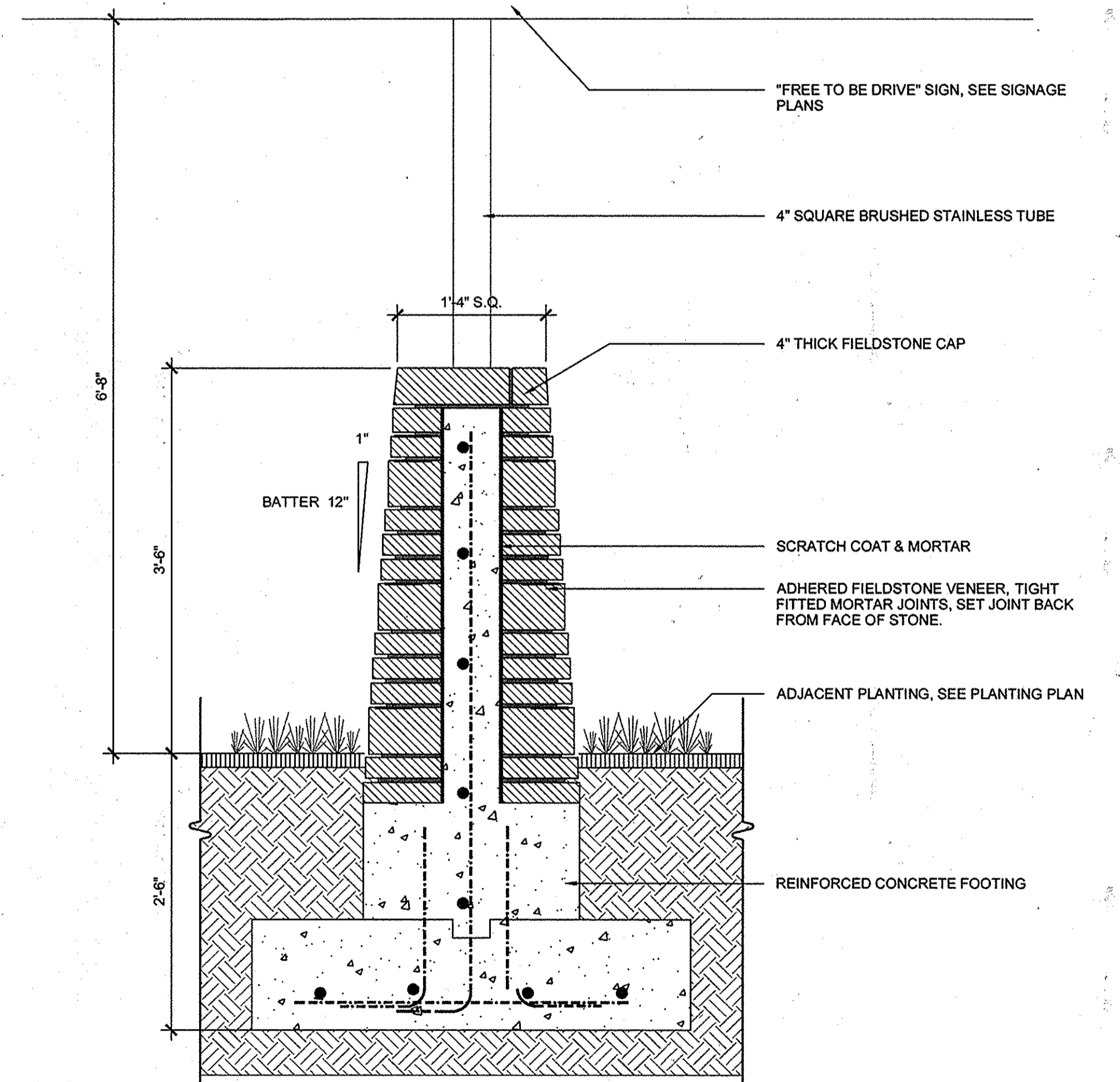
1 BOLLARD
 1"=1'-0"



2 LITTER/RECYCLING RECEPTACLES
 1"=1'-0"



3 BENCH 7 - BAR TABLE AND STOOLS
 1"=1'-0"



4 FREE TO BE SIGN WALL
 1"=1'-0"

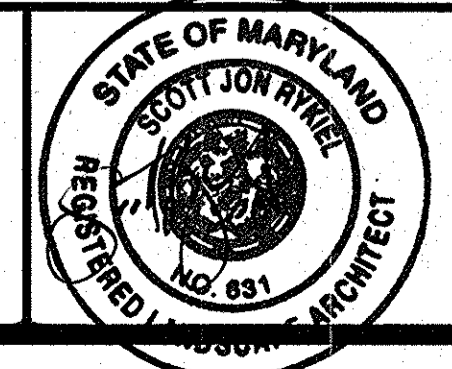
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 9-8-15
 Chief, Division of Land Development: *[Signature]* Date: 9-22-15
 Chief, Development Engineering Division: *[Signature]* Date: 9-25-15

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 See Site 2 for Processing & Approval Required Approvals for Phases 2-7

GENERAL NOTE:
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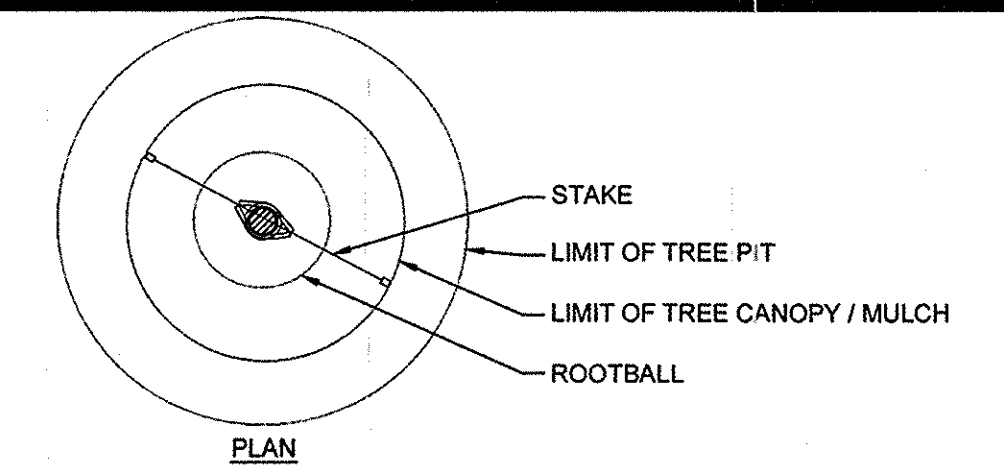
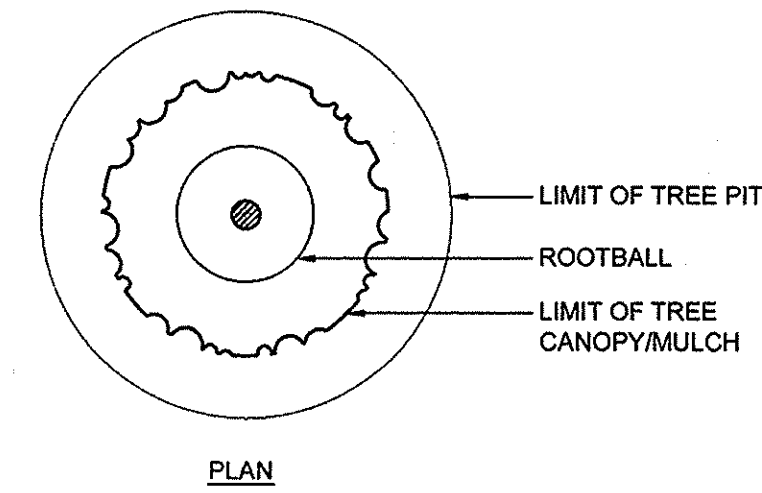
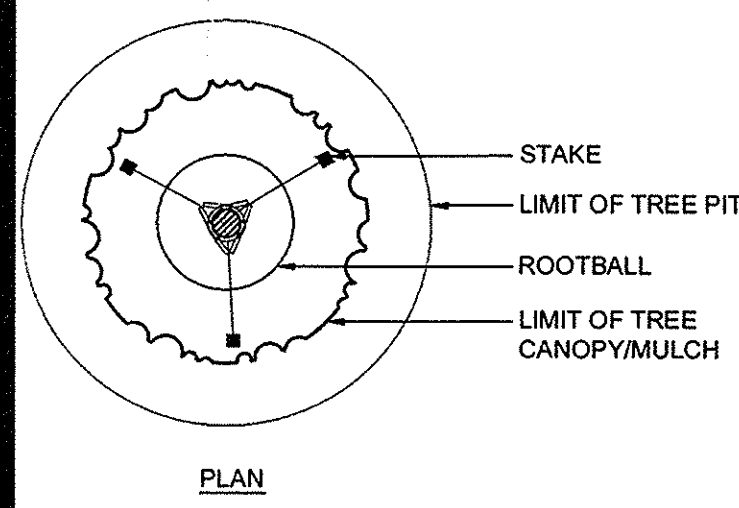
PREPARED FOR & DEVELOPER:
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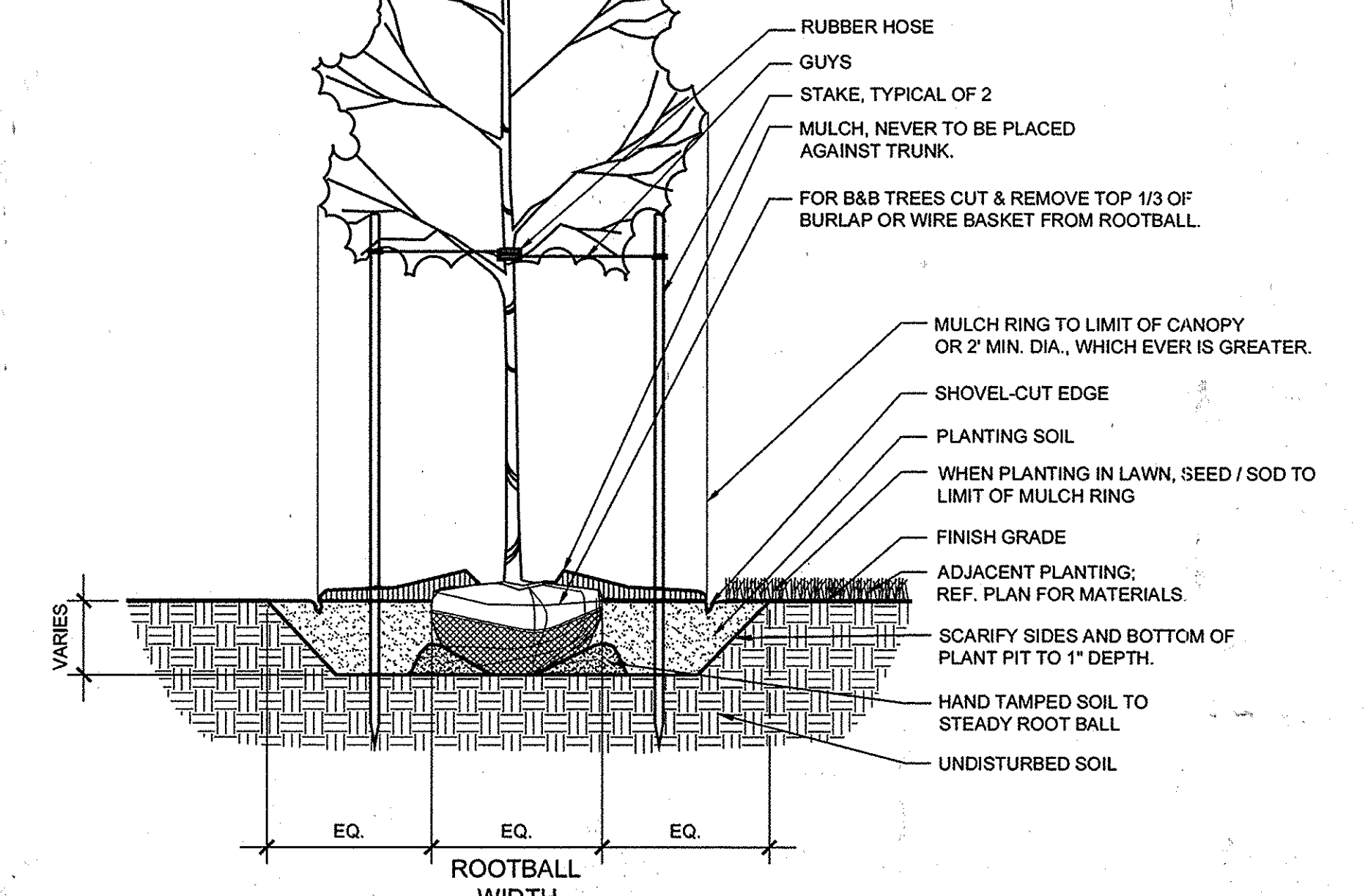
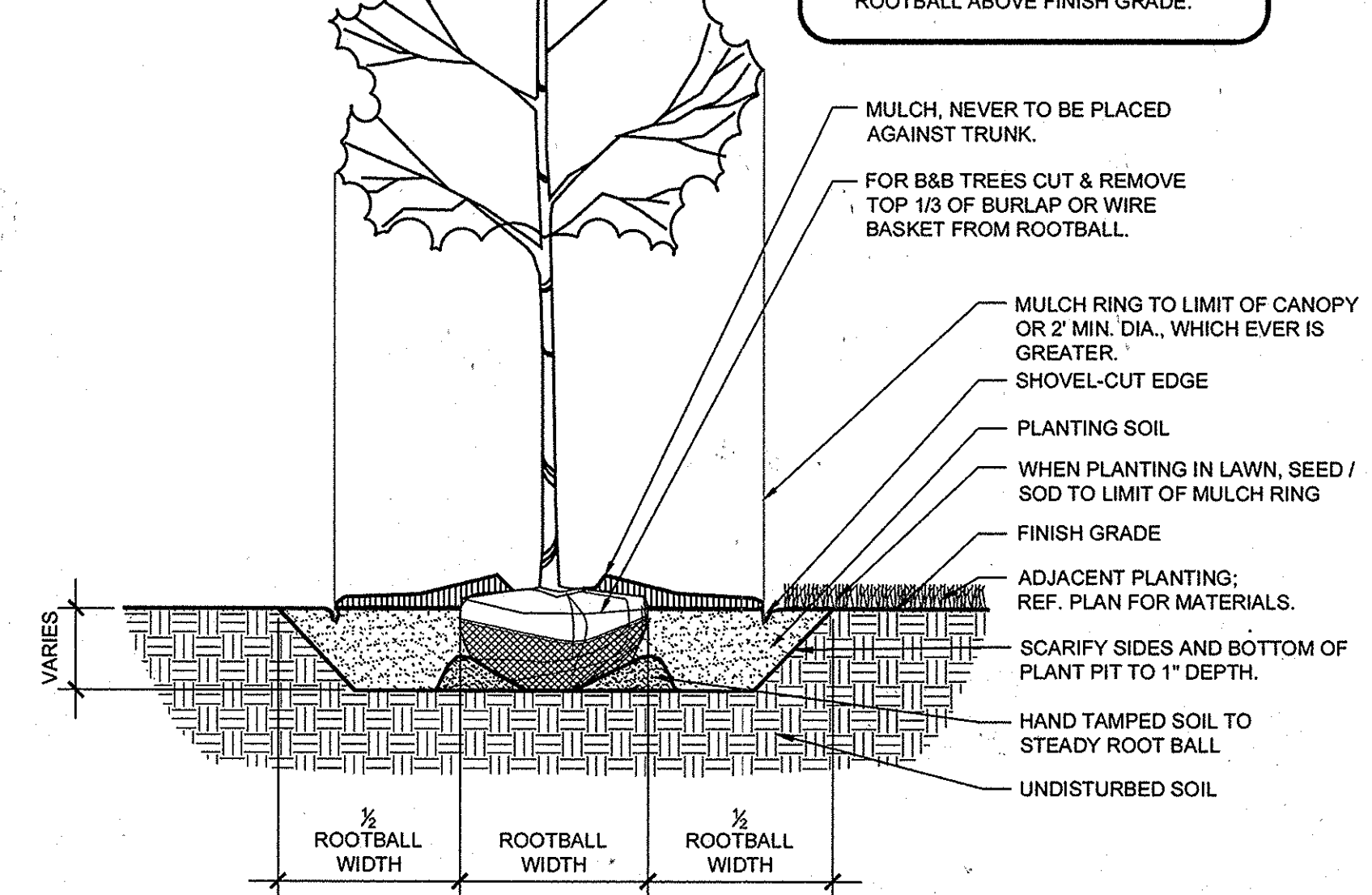
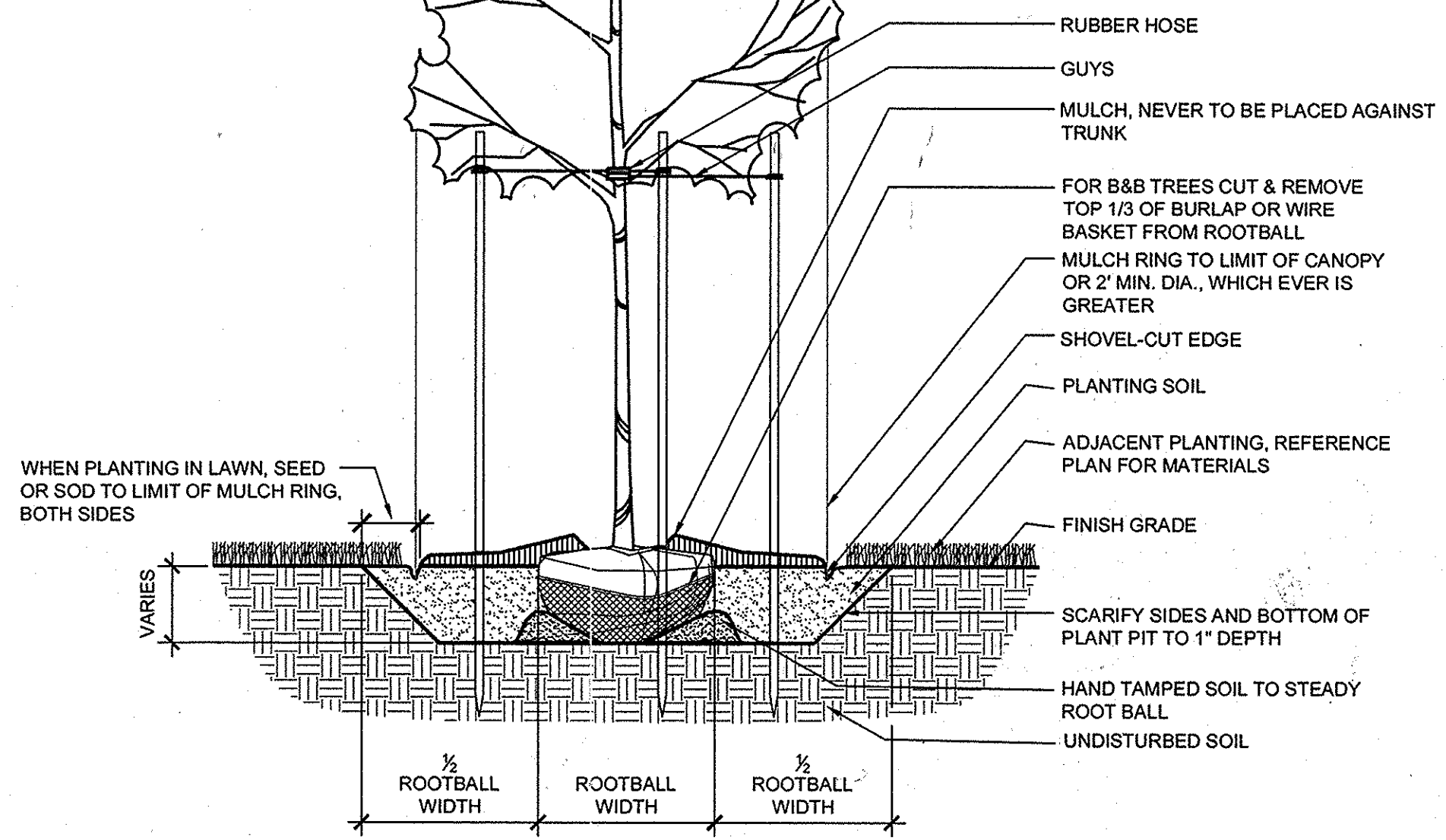
SITE HARDSCAPE DETAILS		LS506
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	67 OF 85



NOTES:
 1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.
 2. NEVER CUT CENTRAL LEADER.
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

NOTES:
 1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.
 2. NEVER CUT CENTRAL LEADER.
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

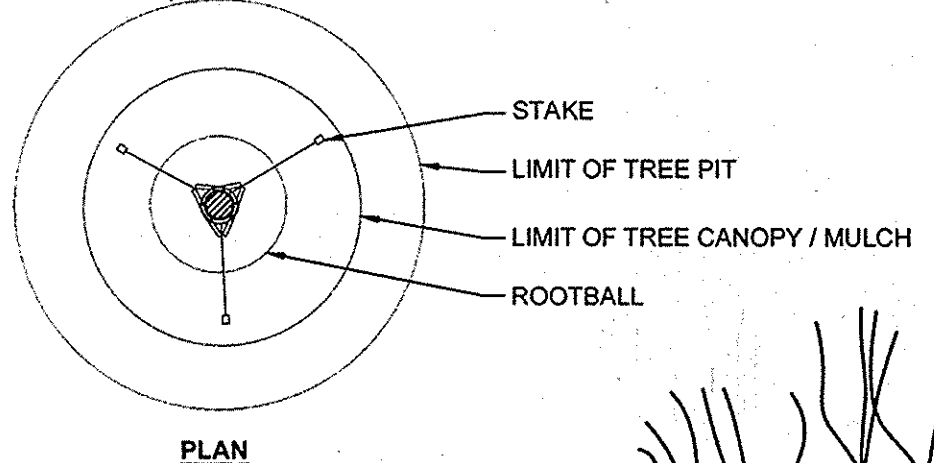
NOTES:
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 2. NEVER CUT CENTRAL LEADER.
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.



1 Typical Tree Planting (2.5" Cal. - 4" Cal.) (Less Than 14' Ht.), Staked
 1/2" = 1'-0"

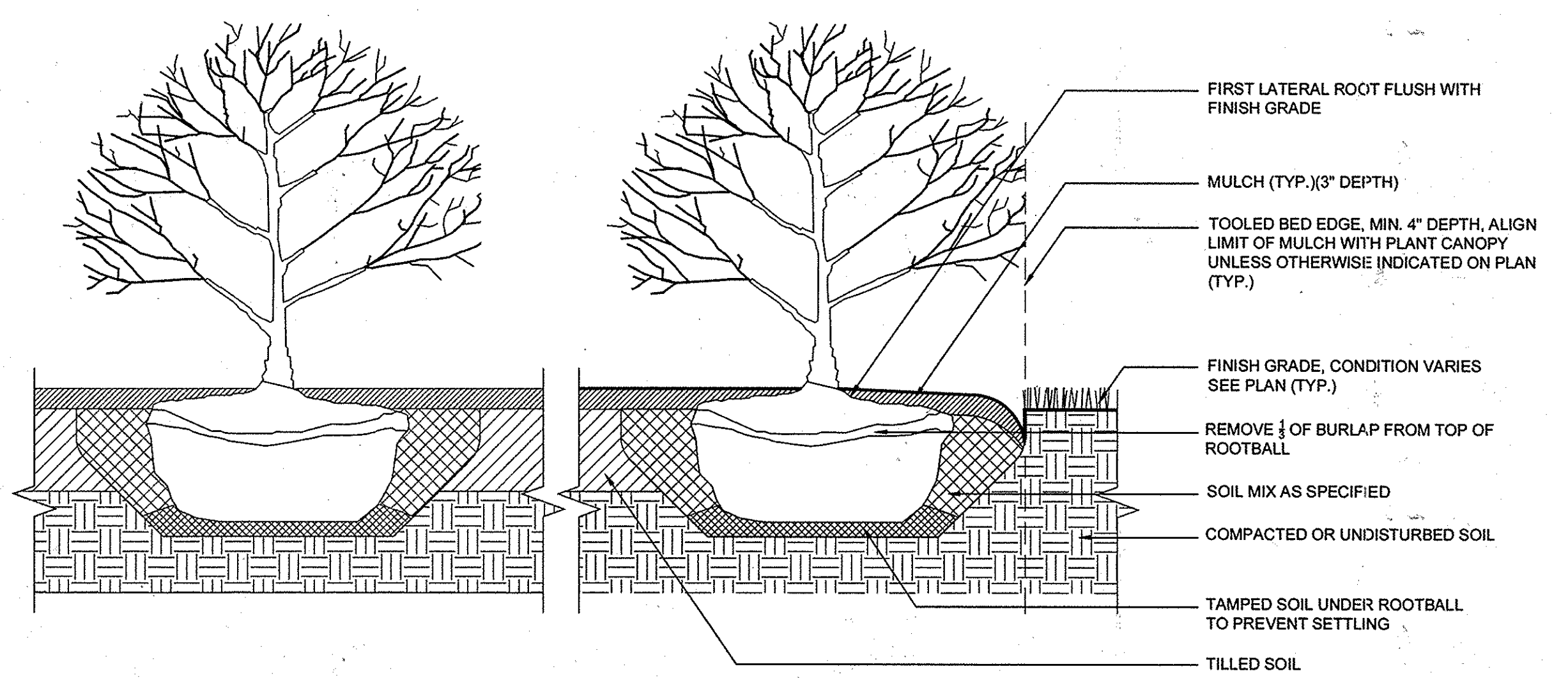
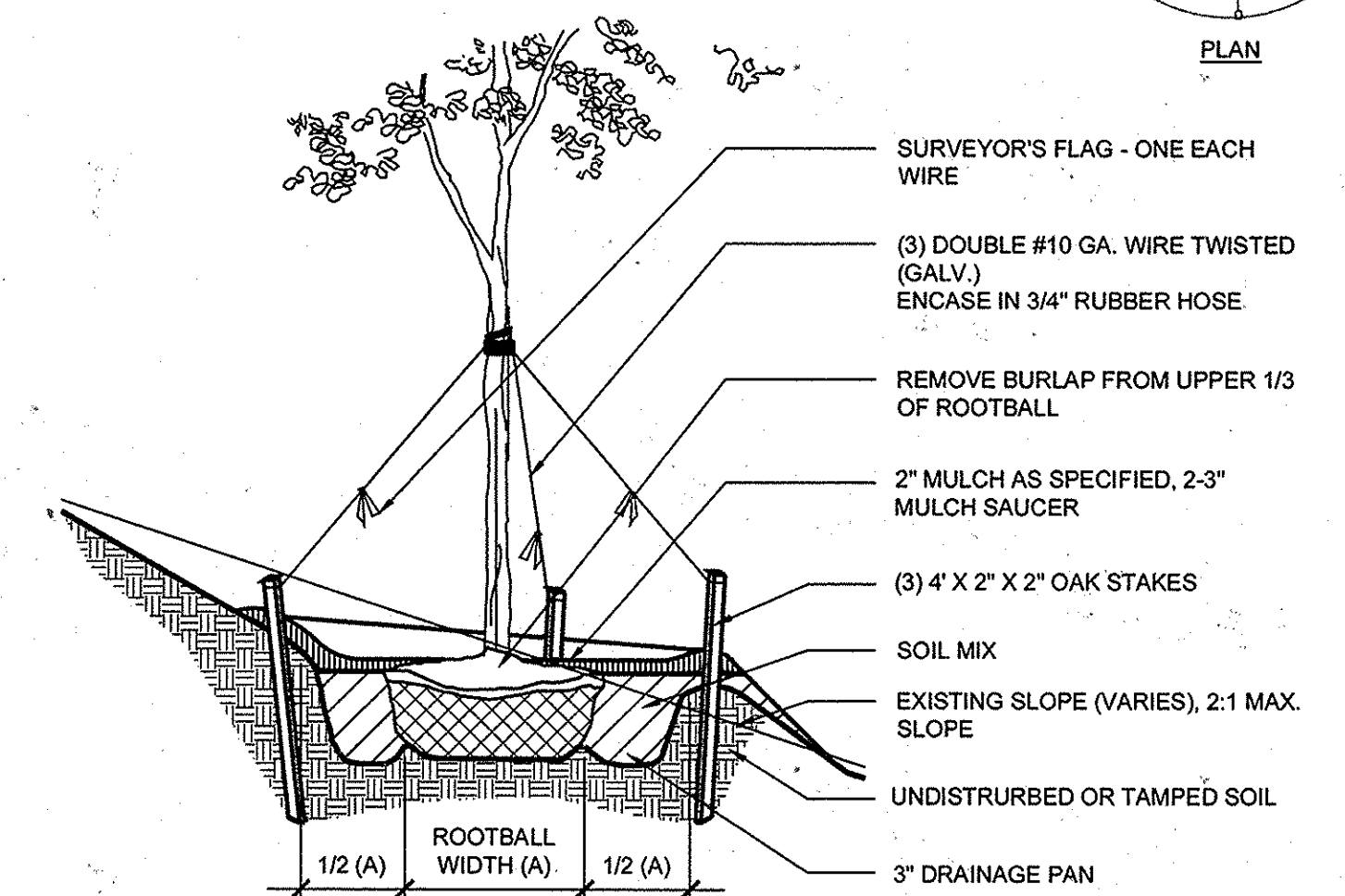
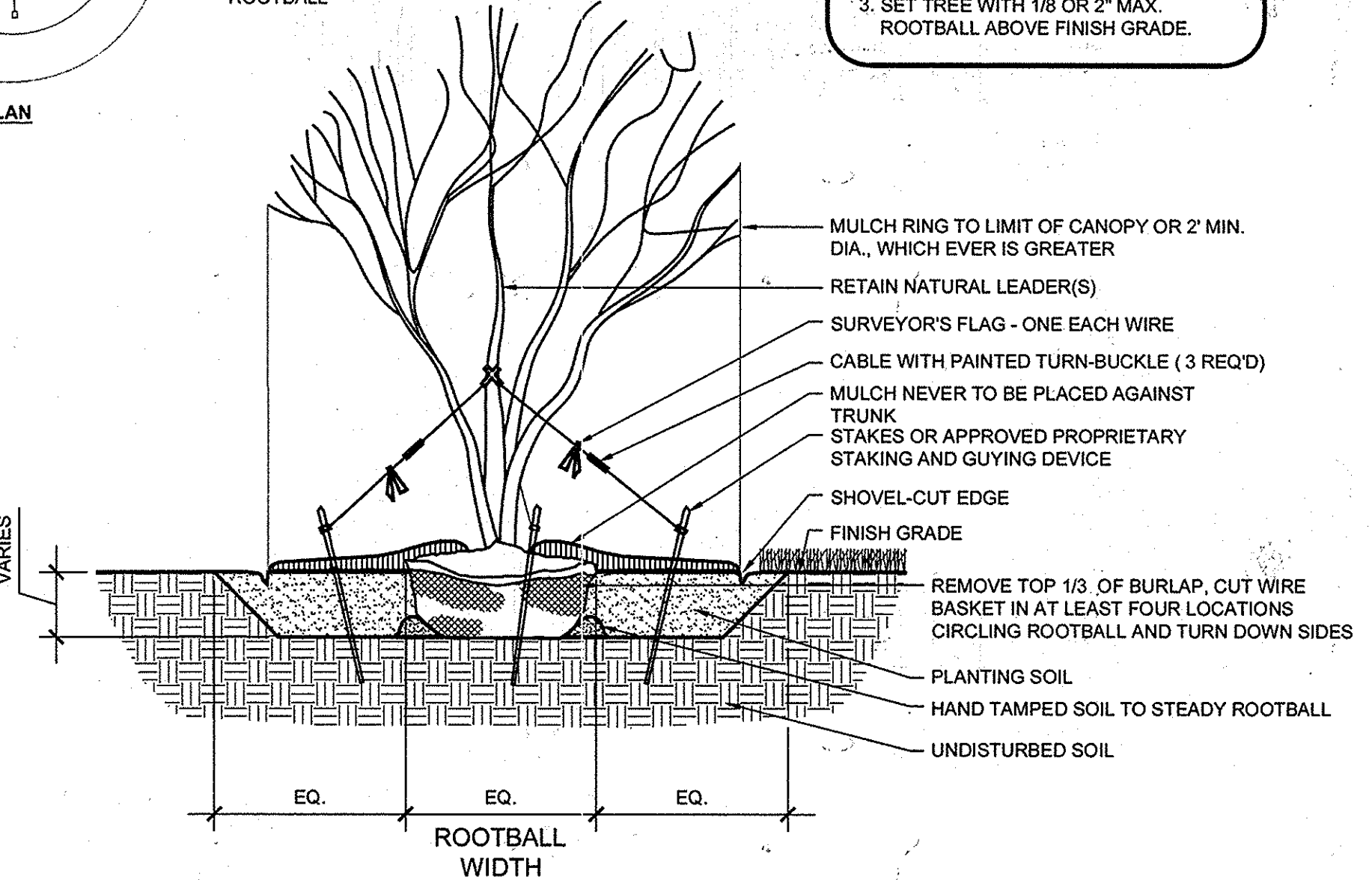
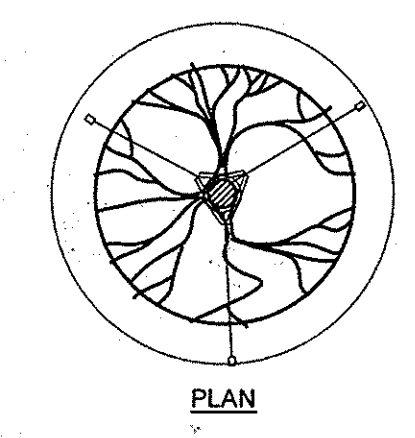
2 Typical Tree Planting (Less than 2" Cal.), Not Staked
 1/2" = 1'-0"

3 Typical Tree Planting (Less than 12' Ht., 2.5" Cal.), Staked
 1/2" = 1'-0"



NOTES:
 1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.
 2. NEVER CUT DOMINANT LEADER(S).
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

NOTES:
 1. NEVER CUT CENTRAL LEADER.
 2. NEVER MULCH AGAINST TRUNK.
 3. SET TREE WITH 1/8 OF ROOT BALL ABOVE GRADE.
 4. STAKES, WIRES, AND HOSES SHALL BE REMOVED AFTER ONE YEAR.
 5. SCARIFY SUBSOIL AND SIDES OF TREE PIT TO A MIN. OF 4" DEPTH.
 6. TREES UNDER 2-1/2" CAL.: 10' x 2" x 2" STAKES SET VERTICAL, MIN. TWO FEET INTO COMPACTED SUBGRADE.
 7. TREES TO HAVE SINGLE LEADER.
 8. CUT AND REMOVE TOP HALF OF WIRE BASKETS.



4 Typical Tree Planting (Over 3" Cal. - 14' Ht.), Staked
 1/2" = 1'-0"

5 Typical Tree Planting on Slope
 1/2" = 1'-0"

6 Typical Shrub Planting
 1" = 1'-0"

SEQUENCE OF CONSTRUCTION (GENERAL REFER TO SPECIFICATIONS)
 1. STAKE OUT PLANT/BED LOCATIONS.
 2. CUT EDGE OF PLANT BED.
 3. TILL SOIL AND APPLY AMENDMENTS TO ENTIRE PLANTING AREA.
 4. APPLY PRE-EMERGENT HERBICIDE (TWO WEEKS PRIOR TO PLANTING).
 5. INSTALL PLANTS.
 6. INSTALL FERTILIZER TABLETS IN EACH PLANT PIT.
 7. PLACE BACKFILL.
 8. WATER EACH INDIVIDUAL PLANT THOROUGHLY.
 9. PLACE MULCH OVER ENTIRE PLANT BED.
 10. WATER ENTIRE PLANT BED THOROUGHLY.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 9-8-15
 Chief, Division of Land Development: *[Signature]* Date: 9-2-15
 Chief, Development Engineering Division: *[Signature]* Date: 9-25-15

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014
 See Sec. 2 for Provisions to Add'l Required Approvals for Pms 3-7

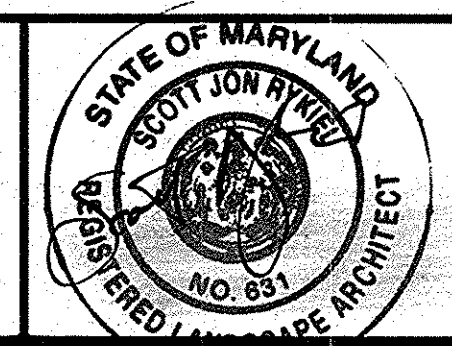
CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 Scott Rykiel, RLA 631

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 Developer/Owner Name: *[Signature]* DATE: 9/9/15

MAHAN RYKIEL ASSOCIATES INC.
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:
 INNER ARBOR TRUST
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA, SUITE 315
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 ATTN: MICHAEL McCALL
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SITE PLANTING DETAILS		LS507
SCALE	ZONING	G. L. #. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	68 OF 85

**TREE PRESERVATION APPROACH
MERRIWEATHER PARK**

TREE PRESERVATION DURING CONSTRUCTION REQUIRES AN INTEGRATED APPROACH THAT RECOGNIZES BOTH THE INHERENT BIOLOGICAL LIMITATIONS OF MATURE TREES AND THE PHYSICAL DEMANDS THAT HUMAN INFRASTRUCTURE PLACES UPON THE LANDSCAPE. THE FOLLOWING DESCRIBES THE COMPREHENSIVE TREE PRESERVATION METHODOLOGY THAT WILL BE UNDERTAKEN TO ENSURE THE HIGHEST POTENTIAL FOR MAINTAINING TREE HEALTH.

THE CRITICAL ROOT ZONE (CRZ) IS THE AREA AROUND THE BASE OF THE PLANT THAT CONTAINS THE VAST MAJORITY OF SMALL, ABSORBING ROOTS. AS OPPOSED TO THE LARGE, STRUCTURAL SUPPORT ROOTS, THE ABSORBING ROOTS ARE PRIMARILY RESPONSIBLE FOR THE UPTAKE OF BOTH WATER AND ESSENTIAL ELEMENTS. THEY REQUIRE ADEQUATE OXYGEN IN ORDER TO SURVIVE. AS SUCH, THEY ARE LOCATED CLOSE TO THE SURFACE (IN THE TOP 12 TO 18" OF SOIL). THEY ARE ALSO HIGHLY VULNERABLE TO SOIL COMPACTION AND THE ACCOMPANYING REDUCTION IN OXYGEN-CONTAINING PORE SPACES BETWEEN SOIL PARTICLES. THE PRIMARY STRATEGY TO BE EMPLOYED IN PRESERVING THE VALUABLE TREES IN MERRIWEATHER PARK WILL BE TO AVOID AND MITIGATE SOIL COMPACTION WITHIN THE CRZ. CRZ WILL BE ESTIMATED BASED ON TREE DIAMETER, AN APPROPRIATE INDICATOR OF POTENTIAL ROOTING AREA. FIELD STUDIES HAVE SHOWN THAT, FOR EVERY INCH OF TREE DIAMETER AT BREST HEIGHT (DBH), A CORRESPONDING RADIUS OF 1.5 FEET (STARTING FROM THE TREE STEM) WILL CAPTURE MOST OF THE CRZ. FOR INSTANCE, A PLANT WITH A DBH OF 10 INCHES WILL HAVE A CRITICAL ROOT ZONE EDGE 15 FEET FROM THE STEM.

THE PLAN WILL INVOLVE TWO COMPLEMENTARY TECHNIQUES TO AVOID UNINTENDED TREE LOSS DURING THE CONSTRUCTION PROCESS:

- A) AVOID THE CRITICAL ROOT ZONE OF TREES SELECTED FOR PRESERVATION
- B) MODIFY CONSTRUCTION ACTIVITIES WHEN IT IS NECESSARY TO OPERATE WITHIN THE CRITICAL ROOT ZONE

AVOIDING THE CRITICAL ROOT ZONE

IN ORDER TO MAXIMIZE THE LEVEL OF TREE CANOPY AND FOREST INTEGRITY THAT IS PROTECTED AT THE PARK, IT IS IMPORTANT TO FIRST FIELD DETERMINE WHICH TREES ARE COMPATIBLE WITH THE PLANNED INFRASTRUCTURE EXPANSION, AND TO THEN DELINEATE THE CRITICAL ROOT ZONES FOR THESE PLANTS.

1 - IDENTIFY TREES FOR RETENTION

A TREE INVENTORY WAS PERFORMED IN 2010. DOMINANT, CANOPY-LEVEL TREES WITHIN THE TARGETED CONSTRUCTION ZONE WILL BE RE-EVALUATED WITHIN THE CONTEXT OF PLANNED ACTIVITIES AND CHARACTERIZED AS TO SPECIES, DBH, AND CONDITION. CHARACTERIZATION OF SPECIES AND CONDITION WILL ALLOW FOR INFORMED DETERMINATION OF WHICH PLANTS ARE COMPATIBLE WITH CONSTRUCTION. TREES IN POOR CONDITION, OR THAT ARE OF SPECIES LIKELY TO BE INTOLERANT OF DISTURBANCE AND PRONE TO HAZARD GENERATION, SHOULD BE REMOVED FROM CONSIDERATION FOR RETENTION.

2 - CRZ LOCATIONS

BASED ON EVALUATION, CRZ LOCATIONS WILL BE REFINED FROM PREVIOUS TREE INVENTORY.

3 - INTEGRATE TREE DATA INTO DESIGN PROCESS

TO DATE, THE DESIGN HAS GONE TO GREAT LENGTHS TO AVOID CRZ OF EXISTING TREES. BASED ON REFINED INFORMATION COLLECTED ABOVE, MINOR MODIFICATIONS MAY BE TAKEN TO RETAIN TREES AND TO MAXIMIZE THE OPPORTUNITY FOR PRESERVING THE TREE CANOPY AND FOREST INTEGRITY. ALL DESIGN SUBMISSIONS WILL INCLUDE A REVIEW AND COMMENTARY BY A QUALIFIED ARBORICULTURAL PROFESSIONAL EXPERIENCED IN TREE PRESERVATION TECHNIQUES.

MODIFY CONSTRUCTION ACTIVITIES WITHIN THE CRZ

TREE PRESERVATION TECHNIQUES WILL BE IMPLEMENTED TO REDUCE SOIL COMPACTION AND THE SUBSEQUENT LOSS OF TREE COVER. THE FOLLOWING MEASURES WILL BE CONSIDERED TO AVOID IMPACTS TO TREES DESIGNATED FOR RETENTION.

4 - FIELD DELINEATE INDIVIDUAL CRZ LOCATIONS

PRIOR TO CONSTRUCTION ACTIVITIES, INDIVIDUAL TREE CRZ ZONES WITHIN DISTURBANCE ZONES WILL BE MARKED WITH FLAGGING AND/OR GROUND PAINT BY AN ARBORICULTURAL PROFESSIONAL, LICENSED BY THE STATE OF MARYLAND AND QUALIFIED IN THE FIELD OF TREE PRESERVATION.

5 - DEVELOP INDIVIDUAL TREE PROTECTION PLANS

INDIVIDUAL TREE PROTECTION PLANS WILL BE CREATED THAT ADDRESS ARBORICULTURAL INTERVENTIONS AND CONSTRUCTION PRACTICES REQUIRED FOR THE TARGETED PLANTS. THESE MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- TREE PROTECTION FENCING
- TREE PROTECTION SIGNAGE
- MULCH SPECIFICATIONS
- CONSTRUCTION MAT SPECIFICATIONS
- SOIL MOISTURE MONITORING STANDARDS
- SUPPLEMENTAL IRRIGATION STANDARDS
- SOIL MODIFICATION (FERTILIZATION, AIR SPADING) RECOMMENDATIONS
- TRENCHING, DIRECTIONAL DRILLING RECOMMENDATIONS
- ROOT PRUNING RECOMMENDATIONS
- ACCESS PIT LOCATIONS
- TREE REMOVAL AND STUMP REMOVAL SPECIFICATIONS
- TREE HAZARD REDUCTION RECOMMENDATIONS

6 - CONSTRUCTION MONITORING

A TRAINED AND QUALIFIED ARBORICULTURAL PROFESSIONAL DURING CRITICAL CONSTRUCTION PHASES WILL BE PRESENT ON SITE TO ENSURE TREE PRESERVATION PLAN IS ABIDED.

PRODUCTS

2.1 TREE PROTECTION FENCING

MINIMUM SPECIFICATIONS - BLAZE ORANGE, HEAVY DUTY, PLASTIC MESH FENCE, A MINIMUM OF 4 FOOT (1.2M) HIGH, SECURELY ATTACHED TO 2 INCH (50MM) METAL POSTS 6 FEET (1.8M) HIGH, DRIVEN A MINIMUM OF 2 FEET (0.6M) INTO THE GROUND. POSTS SHALL BE SET A MAXIMUM OF 8 FEET (2.4M) ON CENTER.

2.2 TREE PROTECTION SIGNAGE

HEAVY-DUTY CARDBOARD OR METAL SIGNS 12 INCHES (304MM) BY 12 INCHES ATTACHED TO ¼ INCH (19MM) THICK EXTERIOR GRADE MDO PLYWOOD (OR OTHER SUBSTRATE AS RECOMMENDED BY THE SIGN SUPPLIER). SIGN SHALL HAVE A BLAZE ORANGE BACKGROUND WITH BLACK BLOCK LETTERS, 1 INCH (25MM) HIGH, WITH THE INSCRIPTION "NO CONSTRUCTION ACTIVITY - TREE PROTECTION ZONE".

SIGNAGE SHALL BE ATTACHED TO THE TREE PROTECTION FENCE AT INTERVALS NOT TO EXCEED 25 FEET (7.6M) ON CENTER.

2.3 MULCH

MULCH SHALL CONSIST OF HARDWOOD CHIPS, AGED A MINIMUM OF SIX MONTHS AND SHALL BE FREE OF LEAVES. CHIPS STOCKPILED FROM THE TREE REMOVAL OPERATION MAYBE USED.

IF MULCH CONSISTS OF HARDWOOD AGED LESS THAN 6 MONTHS, SPREAD NITROGEN FERTILIZER AT THE RATE OF 10 LBS. PER 1000 SQ. FT.

2.4 CONSTRUCTION MAT

CONSTRUCTION MATTING WILL CONSIST OF ¾ INCH PLYWOOD OR HEAVY GAUGE STEEL PLATES WITH AN UNDERLAYMENT OF A MINIMUM OF SIX INCHES OF WOOD CHIP MULCH. THE PLYWOOD OR STEEL TOP LAYER SHOULD ONLY BE APPLIED WHERE VEHICLE MOVEMENT IS ANTICIPATED AND SHOULD NOT BE KEPT IN PLACE FOR EXTENDED PERIODS OF TIME.

2.5 SOIL TENSIO METER

TENSIO METER SHALL BE DESIGNED TO ACCURATELY MEASURE SOIL MOISTURE TENSION THROUGH THE USE OF A POROUS MOISTURE HOLDING CUP AND A VACUUM PRESSURE GAUGE. TENSIO METER SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF THE TARGET TREE AND MONITORED ON A NO LESS THAN WEEKLY BASIS DURING THE PERIOD OF CONSTRUCTION. MOISTURE CUP SHALL BE REGULARLY FILLED WITH WATER AND THE POROUS CUP ROUTINELY INSPECTED FOR CLOGGING AND/OR CRACKING.

2.6 AIR SPADE

AIR SPADE OR EQUIVALENT EXCAVATION TOOL DELIVERING A FOCUSED, HIGH EFFICIENCY, SUPERSONIC AIR JET DESIGNED TO REMOVE SOIL PARTICLES WITHOUT DAMAGING TREE ROOT STRUCTURES. NOZZLE SHALL BE FLOW RATED AT 150 SCFM AND PRESSURE RATED AT 90 PSIG. OPERATOR SHALL BE TRAINED AND EXPERIENCED IN PROPER USE OF EQUIPMENT

GENERAL TREE PROTECTION FENCING NOTE:
1. TREE PROTECTION FENCING, IN ACCORDANCE WITH THE TREE PROTECTION FENCE DETAIL ON SHEET 15, WILL BE PROVIDED FOR ALL TREES TO REMAIN WITHIN THE LIMITS OF DISTURBANCE BEFORE CONSTRUCTION OF EACH PHASE.

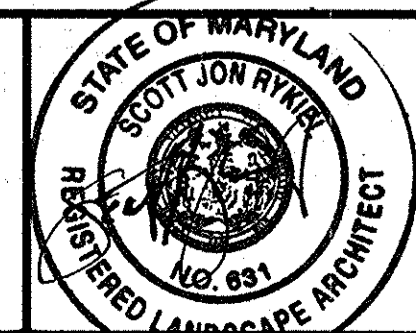
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* Date: 9-2-15
Chief, Division of Land Development: *[Signature]* Date: 9-2-15
Chief, Development Engineering Division: *[Signature]* Date: 8-25-15

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014
* See Sh. 2 for Planning & Zoning Required Approvals for Pks 3-7

MAHAN RYKIEL ASSOCIATES INC.
The Steff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:
INNER ARBOR TRUST
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA, SUITE 315
COLUMBIA, MD 21044
ATTN: MICHAEL McCALL
410-740-0029



FOR INFORMATION ONLY:
NOT FOR CONSTRUCTION

SITE TREE PROTECTION & PRESERVATION
DOWNTOWN COLUMBIA
MERRIWEATHER-PART OF SYMPHONY WOODS NEIGHBORHOOD
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
TOWN CENTER-SECTION 1 AREA 1
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
GREEN COMMERCIAL BUILDING
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SITE TREE PROTECTION & PRESERVATION		LS508
SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 13043
DATE JUNE, 2015	TAX MAP - GRID 36 - 01	SHEET 69 OF 85